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United States Department of the Interior
National Park Service

National Register of Historic Places
Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a).

1. Name of Property

historic name Footer's Dye Works
other names AL-IV-A-171

2. Location

street & number South Mechanic and Howard Streets not for publication
city or town Cumberland vicinity
state Maryland code MD county Allegany code 001 zip code 21502

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act of 1966, as amended, I hereby certify that this nomination request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property meets does not meet the National Register criteria. I recommend that this property be considered significant nationally statewide locally. (See continuation sheet for additional comments).

[Signature] 5-13-13
Signature of certifying official/Title Date

State or Federal agency and bureau

In my opinion, the property meets does not meet the National Register criteria. (See continuation sheet for additional comments).

Signature of certifying official/Title Date

State or Federal agency and bureau

4. National Park Service Certification

- I hereby certify that this property is:
 - entered in the National Register.
 - See continuation sheet.
 - determined eligible for the National Register.
 - See continuation sheet.
 - Determined not eligible for the National Register.
 - removed from the National Register.
 - other (explain): _____

[Signature] 7-3-13
Signature of the Keeper Date of Action

Footer's Dye Works (AL-IV-A-171)
Name of Property

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County and State

5. Classification

Ownership of Property
(Check as many boxes as apply)

Category of Property
(Check only one box)

Number of Resources within Property
(Do not include previously listed resources in the count)

- private
- public-local
- public-State
- public-Federal

- building(s)
- district
- site
- structure
- object

Contributing	Noncontributing	
1		buildings
		sites
		structures
		objects
1	0	Total

Name of related multiple property listing
(Enter "N/A" if property is not part of a multiple property listing)

number of contributing resources previously listed in the National Register

N/A

0

6. Function or Use

Historic Functions
(Enter categories from instructions)

Current Functions
(Enter categories from instructions)

INDUSTRY/manufacturing facility

VACANT/NOT IN USE

7. Description

Architectural Classification
(Enter categories from instructions)

Materials
(Enter categories from instructions)

OTHER: Early 20th Century Factory

foundation Stone

walls Brick

roof Tile

other Concrete Block

Narrative Description

(Describe the historic and current condition of the property on one or more continuation sheets)

8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing)

- A** Property is associated with events that have made a significant contribution to the broad pattern of our history.
- B** Property associated with the lives of persons significant in our past.
- C** Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D** Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply)

Property is:

- A** owned by a religious institution or used for religious purposes.
- B** removed from its original location.
- C** a birthplace or grave.
- D** a cemetery.
- E** a reconstructed building, object, or structure.
- F** a commemorative property.
- G** less than 50 years of age or achieved significance within the past 50 years.

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets)

Area of Significance

(Enter categories from instructions)

- Architecture
- Industry
-
-
-
-
-
-

Period of Significance

1906-1937

Significant Dates

1906

Significant Person

(Complete if Criterion B is marked above)

N/A

Cultural Affiliation

N/A

Architect/Builder

N/A

9. Major Bibliographical References

Bibliography

(Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets)

Previous documentation on files (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other

Name of repository: _____

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10. Geographical Data

Acreage of Property Less than one acre

UTM References

(Place additional UTM references on a continuation sheet)

1	1	7	9	9	2	0	4	0	4	3	9	0	9	0	0
	Zone			Easting			Northing								
2															

3															
	Zone			Easting			Northing								
4															

See continuation sheet

Verbal Boundary Description

(Describe the boundaries of the property on a continuation sheet)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet)

11. Form Prepared By

name/title Paula S. Reed, Ph.D., Architectural Historian; Edie Wallace, M.A., Historian
Organization Paula S. Reed & Associates, Inc. date Sept. 24, 2012
street & number 1 W. Franklin St., Suite 300 telephone 301-739-2070
city or town Hagerstown state Maryland zip code 21740

Additional Documentation

Submit the following items with the completed form:

Continuation Sheets

Maps

A **USGS map** (7.5 or 15 minute series) indicating the property's location.

A **Sketch map** for historic districts and properties having large acreage or numerous resources.

Photographs

Representative **black and white photographs** of the property.

Additional Items

(Check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO)

Name Canal Place Preservation-Development Authority
street & number 13 Canal Street telephone _____
city or town Cumberland state Maryland zip code 21502-3001

Paperwork Reduction Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 *et. seq.*).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including the time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reductions Project (1024-0018), Washington, DC 20503.

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Description Summary:

The Footer's Dye Works building is located along Howard Street in Cumberland, Maryland. The large brick building, constructed in 1906, is a long, narrow four story gable roofed industrial structure. The long, north elevation runs along Howard Street almost to South Mechanic Street. Along the south elevation was a seven-bay, one story high, saw-tooth extension, demolished in 2009, leaving exposed openings along the ground level of the south wall. A loading dock protected by a suspended shed roof is located on the south elevation around a five story concrete block elevator tower. Once part of a complex that included several four story and one story saw tooth buildings as well as water towers and smokestacks, the current building is all that remains. The landscape to the south of the building is a level, gravel and macadam-surfaced lot with some vegetation. The building stands in the shadow of the elevated path of I-68. To the west of the building is the former right of way of a Western Maryland Railway spur that is now a pedestrian path through the Canal Place festival grounds. To the north and west of the building is the redeveloped Canal Place facility and beyond that, the C&O Canal, Potomac River and Wills Creek confluence.

General Description:

Exterior

The Footer's Dye Works building is situated along Howard Street with gable ends east and west. The north and south elevations are 20 bays in length, while the end walls are two bays wide. (Photo #2) A concrete block elevator tower protrudes from the south wall toward the east end of the building. (Photo #3) Along the cornice line of the two long sides of the buildings, framed catwalks have been attached to catch falling roof tiles and provide access to the roof and cornice area. The building rests on rock-faced formed stone foundations, which rise to a height above ground level of about three feet. The walls are of hard-fired red brick laid in common bond at all elevations with a 5:1 header to stretcher row ratio. The brick work, especially on the end walls, is distinguished by extensive decorative corbelling, including quoins at the corners, a corbelled brick pediment and bands between the third and fourth stories. Round windows lined with header bricks are centered in each gable pediment. Segmental arches with triple rows of header bricks top the windows and doors. On the north (Howard St.) façade the window arches have decorative false keystones of slightly protruding bricks. Painted signage remains on the west gable wall identifying the building as Footer's Dye Works. (Photo #4) The painted work appears to date from the early 20th century and may be original to the period of construction of the building. Terra cotta tiles cover the roof.

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Windows form an important aspect of the industrial character of the building. They all have segmentally arched tops. Most of the windows are paired four over four light sash or two over two light sash. On the north elevation all of the second story windows have been replaced with small, paired one over one sash, double stacked (one pair over the other). (Photo #6) The first story north elevation east half of the windows are infilled with wood surrounding a single pane sash. Some of the second story south elevation windows are set slightly higher in the wall to accommodate the former saw-tooth section's roof height. (Photo #3) A number of the windows are covered with plywood, particularly on the south and east elevations. The 1910 Sanborn Insurance Map notes wire glass windows in place. All windows are paired or doubled, beneath a shared segmental arch, with wood lintel within the arch. The segmental arches are made of three courses of header bricks, except for the fourth floor windows which utilize only two courses of headers to form the window arches. The fourth story windows are smaller and shorter than the other rows of windows.

Doors are located on the east and west ends of the building, and at the loading dock area on the south side. There are also entrances in the third bay from each end of the north (Howard St.) façade of the building. Unlike the other entrances, these have fully rounded arched tops with fanlights with three triangular lights (Photo #s 6 and 9), the eastern-most north door also has a transom and five-pane sidelights. (Photo #7) Other original doorways have segmentally arched tops lined with a double course of header bricks. Later or altered doorways have flat headers supported by steel lintels. Doors are double-leafed with vertical tongue and groove board surfaces. Some are double surfaced and have an interior facing of diagonally placed tongue and groove paneling. Doors to loading dock spaces are covered with diagonal tongue and groove panels and hang on steel roller tracks.

On the south elevation of the building there is a five-story concrete block elevator tower that protrudes out from the wall and has a steel door at the base opening onto the loading dock. This tower appears to be a later replacement of an earlier four-story tower, which was removed and the arched openings on each floor infilled with brick. (Photo #3) Two other window openings on the first story, south elevation were also infilled with brick. The area exposed by the demolition of the saw-tooth roof section of the building (2009) on the south elevation is now infilled with plywood. The massive I-beam lintel and steel beam posts are exposed. A portion is infilled with concrete block from interior alterations done during the 1970s Tri-State Mine & Mill Supply occupation on the east end of the first floor.

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Interior

The interior of the building presents large cavernous spaces with steel columns placed at regular intervals for support. The first story includes large openings on the south side which formerly opened into the one story saw-tooth roof section. Above the openings a steel I-beam with steel columns supports the brick exterior structure of the upper stories. Flooring material is poured concrete at the first floor. The ceiling of the first story appears to have had some sort of covering tacked on, but it is now loose and sagging. Exposed pipes and fluorescent lighting fixtures hang from the ceiling. (Photo #8) Steel posts and beams are exposed. In the east end of the first floor level is an office area partitioned off from the rest of the space with concrete blocks, dating from the 1970s Tri-State Mine & Mill Supply Co. occupation of the building. The southeast stairwell is located within this altered space. On the west end is an enclosed restroom area with three doors. (Photo #10) All fixtures have been removed. In the southwest corner is the enclosed stairwell.

The stairwells located in the southwest and southeast corners of the building are enclosed within an exposed stud framed wall covered with horizontal beaded tongue and groove paneling at each floor landing. The double doors into the stairwell are diagonally laid tongue and groove panels over wood frame. (Photo #11) The metal exterior doors open into the stairwells at the first floor level. The stairwells are exposed brick walls. The stairs consist of wood risers leading to a landing halfway up and turning to continue to the second story. Windows light the stairwells. (Photo #12)

The second, third, and fourth stories are open end to end punctuated with a row of steel support columns running down the middle of the long rectangular space, slightly north of center. (Photo #s 13, 16, & 19) Each floor has a brick infilled opening to the old elevator tower with four-light transom (Photo #17) and an opening to the current elevator tower in the south wall near the east end. (Photo #s 18 & 20) The second floor west end includes a restroom enclosure with metal stalls and porcelain fixtures still in place. (Photo #14) Adjoining is a stud and wallboard office enclosure with pine bookshelves along the north wall. (Photo #15) On the fourth floor, a foreman's room is partitioned off in the west end of the building. The upper floors have wood tongue and groove flooring running east-west. Five skylights help to illuminate the fourth floor. (Photo #21) The fourth floor space has wooden ceilings of beaded tongue and groove paneling. Also at the fourth floor level, recent wooden platforms have been constructed to catch falling roof tiles. Although these are exterior structures, their framing extends to the interior.

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Evaluation of Integrity

The last remaining building of a sizable industrial complex that was once the largest cleaning and dyeing establishment in the United States, the Footer Dye Works building now stands alone along Howard Street. Despite the removal of its companion buildings, the remnant of the once sprawling complex retains integrity to reflect its historical associations with the industrial development of Cumberland and its architectural character as a typical industrial building of the early 20th century. Specifically, the building retains strong integrity of location, design, materials, workmanship, feeling and association. The building housed the company's office, and the functions of cloth finishing and pressing. It played a central role in the company's function: where the company's administration was carried out, and where crucial final steps in preparing the product took place. Although the setting has diminished through the removal of the other buildings that were once part of this complex, and the construction of the elevated I-68 platform adjacent to the building, the Footer's building itself remains nearly as it was constructed and used in the early 20th century. The character defining features of the building are almost completely intact. At the exterior, windows, doors, distinctive corbelled brickwork, tile roofing and painted signage all remain. The interior retains original wood tongue and groove flooring, wall partitioning and ceiling material, exposed structural steel columns and beams, and early, if not original paint schemes. Windows and skylights, especially on the upper stories remain in place. Thus the Footer's Dye Works building retains more than sufficient material to convey its historic character and important associations with Cumberland's industrial past.

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Summary Statement of Significance:

The Footer's Dye Works building is locally significant under National Register Criteria A and C as a representative example of the industry and its related factory architecture that fueled an economic boom in Cumberland, Maryland in the late 19th and early 20th century. As the only remaining building (built 1906) of a large complex constructed in the first decade of the 20th century, the Footer's Dye Works building is an important remnant of the city's dwindling industrial heritage. Throughout the 1920s Footer's Dye Works was one of the dominant cleaning and dyeing establishments in the mid-Atlantic region, with major branch offices located in Baltimore, Philadelphia, and Pittsburgh. At its peak, Footer's Dye Works employed as many as 500 people and numbered the White House among its clients. Historically a vibrant industrial town served by numerous railroads, the C&O Canal, and the National Road, the city of Cumberland suffered a substantial loss of industry, jobs, and population through the second half of the 20th century. Although no longer occupied by industry, the remaining industrial buildings of Cumberland serve to highlight the historic web of transportation and industry that made Cumberland into the second largest city in Maryland.

Historic Context

The city of Cumberland, Maryland, sited at the confluence of the Potomac River and Wills Creek, was laid out in 1785. With the topography around the city, it became a point through which most westbound traffic passed. Cumberland by the late 19th century became a major rail and transportation center with easy access to the Georges Creek Coal resources. The excellent transportation facilities and the availability of coal for fuel attracted industries such as Kelly-Springfield and Celanese Corporation to the Cumberland area, swelling the population during the late 19th and early 20th centuries and increasing development in those time periods. Today most of these manufacturing industries are gone.

A few pioneering farmers and fur traders initially settled western Maryland in the 1730s and 1740s. At that time Lord Baltimore had just opened Maryland's frontier or "back country" for settlement, and Germans were migrating through the area to create settlements in Virginia. Speculators from eastern Maryland responded by acquiring large tracts for subdivision and resale to German farmers. As settlement progressed, political divisions of the frontier occurred. Until 1748, western Maryland was part of Prince George's County. Afterward it was Frederick County until 1776 when Washington County was formed, covering all of western Maryland. In 1789, Allegany County was carved from the western mountainous region of Washington County, with Cumberland as the county seat.

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Settlement was sparse until the close of the French and Indian War in 1763 and the end of Pontiac's rebellion the following year. Cumberland, site of the westernmost Maryland fort, Fort Cumberland, was well situated to serve as a center for the region. General Braddock's road, cut during the French and Indian War to aid in the transportation of troops and supplies westward, now served as a route for the transport of agricultural products to the eastern markets. The track also provided a template for Thomas Jefferson's National Road to access the Ohio territories newly acquired with the Louisiana Purchase in 1804. Construction on the road began in Cumberland in 1811 along Greene Street, near the former site of Fort Cumberland and where much of the town's early development was located.¹

The National Road, which eventually connected with Baltimore via a series of private turnpikes, was an important step in transportation improvements in western Maryland. However, much of the progress in the region and in the town of Cumberland was largely due to the establishment of both the Baltimore & Ohio (B&O) Railroad Company and the Chesapeake & Ohio (C&O) Canal Company in 1828. Following similar routes through Maryland, both companies began construction in 1828 in a race to reach Cumberland and Ohio beyond. The railroad reached Cumberland in 1842 and the canal arrived eight years later in 1850. Providing cheaper transportation options to a region plagued by the expense of transporting products over land, the B&O Railroad and C&O Canal both significantly impacted the city and its industries.

Both the canal and railroad entered Cumberland along the Potomac River from the southeast, sparking the industrial development of that section of the city. These transportation systems and the industry they spawned provided significant employment opportunities and triggered an explosion of working class neighborhoods through the 19th century in Cumberland. "The first substantial community development beyond the general area of the original fort site was on the east side of Wills Creek, on present-day Mechanic Street. Mechanic Street was a focus of commercial and residential development, and became a neighborhood populated by the mechanics and artisans of the community."²

Leading industries in Maryland, determined by value of product in 1860 included 1) Flour and Meal; 2) Men's Clothing; 3) Cotton Goods; 4) Sugar, Refined; and 5) Leather. By 1870, the list had changed: 1) Sugar, Refined; 2) Flouring and Grist Mill Products; 3) Men's Clothing; 4) Cotton Goods; and 5) Iron, Forged and Rolled. The leading industries had shifted again by 1880: 1) Men's Clothing; 2) Flouring and Grist Mill Products; 3) Fruits and Vegetables, Canned; 4) Fertilizers; and 5) Cotton Goods. Ten years later in 1890, first was still men's clothing, then brick and stone masonry, canning and preserving fruits and vegetables, with flour milling

¹ Wallace Roberts & Todd, "Canal Place Management Plan," October 1995, p. 37.

² Ibid, p. 41.

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products dropped to fourth place in value of product. In 1900, flour and grist mill products had dropped again to the number five position behind men's clothing, fruit and vegetable canning, iron and steel, and foundry and machine shop products.³

The value of product trends shown above indicates that Maryland was shifting from an agricultural based economy to one based on manufacturing and factory produced goods. In Maryland, by 1914, more people were working in industry than in agriculture, and more were living in urban areas than in the country.⁴ Outside of Baltimore, nowhere in Maryland was this shift in population more evident than in Cumberland. Between 1887, when Cumberland's population stood at 11,000, and 1910, the city population more than doubled reaching 24,000 according to Sanborn Insurance map tabulations.⁵ "From the mid-19th century to the early 20th century, Cumberland was the second largest manufacturing center in the state... The steel rolling mill on Williams Street [in the neighborhood of S. Mechanic Street] was a major employer in Cumberland from 1870 into the 20th century, and served as a major influence on the development of Cumberland's east side... other leading industries included glass works, iron and steel works, and breweries. Now-defunct industries, which dominated the City during the early 20th century, included Footer's Dye Works and the Kelly Springfield Tire Company, the latter of which located in Cumberland in 1920 and sparked the City's last major building boom."⁶

Writing in 1911, Clarence Weaver described the character of the expanding city:

CUMBERLAND is a City of thirty odd thousand inhabitants with its suburbs a large share of whom are supported by the railroads and manufactories.

There are many factories, mills and plants of various kinds, among which are N. & G. Taylor Tin Plate Company; U.S. Rail Company; Potomac Glass Company; Wellington Glass Company; Eastern Glass Company; Maryland Glass Etching Works, Cumberland Gas Light Company, Edison Electric Illuminating Company, Klots Throwing Company, Silk Mills, McKaig Foundry and Machine Works, Cumberland Steel and Shafting Works, Footer's Dye Works, United States Tannery, four large Milling Companies, several Planing Mills, Sash and Door factories, Candy Factories, Distilleries, Breweries, Brick Yards, Garages, etc.⁷

³ Eleanor Bruchey, "The Industrialization of Maryland, 1860-1914," in Walsh and Fox, p. 483,484.

⁴ Bruchey, p. 396, citing U.S. Department of Commerce, Bureau of the Census, *Census of Manufactures: 1914*, I, 553.

⁵ 1887, 1892, 1897, 1904, and 1910 Sanborn Fire Insurance maps, Cumberland, Enoch Pratt Free Library, Baltimore, MD.

⁶ Wallace Roberts & Todd, p. 43.

⁷ Weaver, Clarence E. *STORY OF CUMBERLAND, MARYLAND; THE QUEENCITY OF THE ALLEGHANIES*, The Eddy Press Corporation, 1911.

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Activity on the National Road picked up as well in the early 20th century with the advent of the automobile, becoming part of a major transcontinental route by the 1920s. The well-developed network of roads and rails enhanced suburban growth around Cumberland as people began to move out of city the center. After struggling through several devastating floods, the closure of the C&O Canal in 1924, and the Depression of the 1930s, World War II industrial needs brought a fresh infusion of manufacturing work for Cumberland's largest industries, Kelly-Springfield Tires and the Celanese Corporation (est. 1924), and continued the suburban expansion of Cumberland.

Despite the boost following WWII, the decline of the railroad and manufacturing industries through the later decades of the 20th century accelerated the deterioration of Cumberland's economy and a disappearing population. Indicative of the growing importance of the automobile and trucking, Interstate Highway 68 cut through the center of town forever altering the city's appearance and its neighborhoods.

Resource History

Thomas Footer was an immigrant from England who received American citizenship in 1869. In 1870 he established "Footer's Steam and Dye Works" in Cumberland, Maryland.⁸ By 1878, Footer was one of two "Dyers" in Cumberland, by then a city of 14,000 people.⁹ Initially located in a North Liberty Street storefront building in the heart of the city's business district, Footer's cleaning and dyeing operation grew through the second half of the 19th century. The city's first Sanborn Insurance Company map was drawn in 1887, showing Footer's building as a series of several additions reaching into the center of the city block. By 1904, Footer's, under the name "Thomas Footer & Son" to include his son Harry Footer, had expanded across the block into a labyrinth of additions. The building's closest neighbors were the old German Reformed Church on the east and the new U.S. Courthouse on the west.

With little room left on N. Liberty Street to expand, in 1904 Thomas Footer undertook a plan to relocate his factory to the developing industrial area east of the C&O Canal basin. The several parcels Thomas and Harry Footer purchased, noted as part of "Landwehr's addition to Cumberland," were previously the location of George Landwehr's lumber yard and the Johnson Mill.¹⁰ The new Footer property formed a block, bordered on the east by S. Mechanic St., on the

⁸ 1900 U.S. Population Census; Albert Feldstein, *Feldstein's Historic Album of Allegany County*, (Cumberland, MD: Commercial Press Printing Co., 1983), p. 3.

⁹ 1878 Maryland Directory, published by J. Frank Lewis & Co. of Baltimore, transcribed by Jeffrey C. Weaver on www.ls.net/~newriver/md/md1878.htm

¹⁰ Allegany Co. (AC) Deed Book (DB) 96, p. 286, Parcels 5 and 6, Thomas and Harry Footer to Footers Dye Works of Cumberland.

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south by the mill race and Williams St., on the north by a new street called Howard St., and on the west by a spur of the Western Maryland Railroad. On March 1, 1906, the local newspaper *Cumberland Times*, announced that Footer's Dye Works intended to build a new building on S. Mechanic St. and move there from their N. Liberty St. location.¹¹ With the bulk of the complex constructed in 1906, and an additional "Wet Dye House" constructed on land to the south in 1910, the block was filled with brick factory buildings housing "America's Greatest Cleaning and Dyeing Works" (Figures 1 and 2).¹²

Perhaps a result of the massive building campaign, by 1920 the company was facing financial trouble. Local historian T.J.C. Williams, writing in 1923, noted: "...Mr. [Thomas] Finan with others incorporated and re-financed Footer's Dye Works, the largest cleaning and dyeing establishment in the United States, and he is now president of this nationally known concern."¹³ After witnessing the rescue of his life's work, Thomas Footer died in 1923, but his sons continued with the company. In 1929, the Cumberland City Directory listed Thomas Finan as President of Footer's Dye Works, Harry Footer as Vice President, and Joseph Footer – a farmer on the 1900 census – as Superintendent.¹⁴

Throughout the 1920s, Footer's Dye Works continued as one of the dominant cleaning and dyeing establishments in the region. The factory complex in Cumberland employed nearly 500 workers with a weekly payroll of several thousand dollars.¹⁵ As many as twenty branch offices were located in the region, with major branch offices located in Baltimore, Philadelphia, and Pittsburgh, according to the company's advertising flier (Figure 3). One source of business included the White House in Washington, D.C., from which lace curtains were shipped to Footer's for cleaning.¹⁶

The 1930s, however, brought hard times to Footer's Dye Works. It was in the 1930s that the new "dry" cleaning process was beginning to take hold, replacing the steam cleaning process used in Footer's factory. With the Great Depression in full swing throughout the United States, pressure from dry cleaning competition, and then a devastating Potomac River flood in March of

¹¹ Allegany Co., MDGenWeb Archives, "The Cumberland Times (Excerpts)," www.rootsweb.com/~usgenweb/md/allegany/ctimes.htm.

¹² AC DB 106, p. 485 (1910), J. Clarence Lane and trustees of the C&O Canal to Footers Dye Works. Additional deeds include AC DB 96, p. 622 (1905), Walsh to Footer's; AC DB 102, p. 277 (1907), Potomac Planing Mill to Footer's; AC DB 113, p. 33 (1913), Trieber to Footer's; and AC DB 122, p. 541 (1917), Footer's Realty Corp. to Footer's Dye Works, a conveyance of all Footer's parcels into one.

¹³ "Distinguished Citizens of Allegany County," excerpts from Williams and Thomas, *History of Allegany County, Maryland*, www.rootsweb.com/~mdallegh/bios/biograph.htm.

¹⁴ 1929 Cumberland City Directory, R.L. Polk, NY, p. 286, Allegany County Public Library, Cumberland, MD.

¹⁵ Feldstein, p. 89.

¹⁶ Feldstein, p. 89.

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Allegany County, Maryland
County and State

Section 8 Page 6

1936, Footer's Dye Works filed for bankruptcy on June 12, 1936. On December 30th, the plant was sold by a court trustee to the Federal Reserve Bank of Richmond, which held the mortgage, for \$200,000.¹⁷ With the sale of the Footer's Dye Works property, the cleaning and dyeing operation closed.

In 1939, Harry Footer opened a cleaning business in the old Footer's building on N. Liberty St. called Harry Footer & Co.¹⁸ His was among twenty "Clothes Pressers and Cleaners" listed in Cumberland in 1939. In June of 1939, part of the Footer's S. Mechanic St. complex was sold to Liberty Cleaners & Dyers, Inc.¹⁹ The 1949 Sanborn map shows the part of the building purchased by Liberty Cleaners as a "Dry Cleaning" business.

Between 1939 and 1949, the former Footer's Dye Works complex was subdivided and sold. The 1939 deed to Liberty Cleaners noted that another part of the complex was deeded earlier to "Red Head Oil Co."²⁰ The 1949 Sanborn map shows not only the dry cleaners and oil company sections, but a "Trade School" in the eastern-most buildings and a "Montgomery Ward warehouse" in the first floor of the four-story brick building along Howard St. (the subject building) and its one-story saw-tooth roofed south section (demolished 2009). By 1956, when the last Sanborn Insurance Co. map was drawn of the complex, most of the eastern section had been demolished and replaced with a parking lot. The cleaners, oil company, and Montgomery Ward still occupied their buildings. But the large four-story brick building that housed the Wards warehouse also had the state employment offices in the second floor and the Army Reserve in the third floor.

In 1965, U.S. Route 40 through Cumberland (later made part of Interstate Route 68) was relocated onto a raised concrete platform that sliced through the center of the city just north of the old Footer's Dye Works complex. By 1972, little of the old complex remained; the four-story brick building along Howard Street and its one-story saw-tooth roofed companion were sold by Merchandise Mart to Tri-State Mine & Mill Supply.²¹ Tri-State was the last to occupy the former Footer's factory building. In 1997, Canal Place Preservation and Development Authority purchased the property from Jonway, Inc. (formerly Tri-State Mine & Mill Supply).²²

¹⁷ AC DB 176, p. 413.

¹⁸ 1939 Cumberland City Directory, R.L. Polk, NY, pp. 836 and 848.

¹⁹ AC DB 184, p. 32.

²⁰ AC DB 184, p. 32.

²¹ AC DB 454, p. 117. Merchandise Mart had a reconveyance deed recorded in 1966 (AC DB 403, p. 441) but the concurrent deed "to be recorded among the Land Records of Allegany Co. prior to the recordation of this deed" was not recorded. There was also no record for the original Merchandise Mart purchase of the Footer's property sometime between 1937 and 1966.

²² AC DB 656, p. 854.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

AL-IV-A-171
Footer's Dye Works
Name of Property

Allegany County, Maryland
County and State

Section 9 Page 1

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United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

AL-IV-A-171
Footer's Dye Works
Name of Property

Section 10 Page 1

Allegany County, Maryland
County and State

Verbal Boundary Description:

The boundary of the nominated property is described by the footprint of the building now standing: 216 feet 7 inches in length along the north and south elevations and 40 feet 1 inch in width along the east and west elevations, enclosing 8,680 square feet. This is part of a larger parcel identified in the Land Records of Allegany County at Liber 656, folio 854.

Boundary Justification:

The boundary is the existing building footprint only. This boundary comprises the remnant of the historic resource which retains integrity. Although the remainder of the parcel formerly contained related structures, most of these elements were removed before 1972, and the vacant land does not contribute to the historic setting of the building.

NR Digital Photograph Log (2 pages)

Name of Property: Footer's Dye Works
City or Vicinity: Cumberland
County, State: Allegany County, MD
Name of Photographer: Edie Wallace
Date of Photographs: July 2012
Location of Original Files: MD SHPO
Number of Photographs: 21

HP 100 Gray Photo Cartridge
HP Premium Plus Photo Paper

MD_Allegany County_Footer's Dye Works_0001
Setting, view S looking under the I-68 overpass along the Western Maryland RR right-of-way path.

MD_Allegany County_Footer's Dye Works_0002
Exterior view, N and W elevations, view SE.

MD_Allegany County_Footer's Dye Works_0003
Exterior view, S and E elevations, view NW.

MD_Allegany County_Footer's Dye Works_0004
Exterior view, W elevation detail of painted sign, view E.

MD_Allegany County_Footer's Dye Works_0005
Exterior view, brickwork detail of W gable end.

MD_Allegany County_Footer's Dye Works_0006
Exterior view, N elevation detail of NW door and windows.

MD_Allegany County_Footer's Dye Works_0007
Exterior view, N elevation showing NE door, view W toward Canal Place festival grounds.

MD_Allegany County_Footer's Dye Works_0008
Interior view, 1st floor, view W.

MD_Allegany County_Footer's Dye Works_0009
Interior view, 1st floor, N wall showing arched entrance with fanlight.

MD_Allegany County_Footer's Dye Works_0010
Interior view, 1st floor, view to SW corner showing stairwell enclosure and restroom enclosure.

MD_Allegany County_Footer's Dye Works_0011
Interior view, 1st floor, SW stairwell detail of double doors, view SE.

MD_Allegany County_Footer's Dye Works _0012
Interior view, SW stairwell 1st to 2nd floor, view NE from mid-landing.

MD_Allegany County_Footer's Dye Works _0013
Interior view, 2nd floor, view W toward stairwell, restroom, and office enclosures.

MD_Allegany County_Footer's Dye Works _0014
Interior view, 2nd floor, view W inside restroom enclosure.

MD_Allegany County_Footer's Dye Works _0015
Interior view, 2nd floor, view NE inside office enclosure.

MD_Allegany County_Footer's Dye Works _0016
Interior view, 3rd floor, view W.

MD_Allegany County_Footer's Dye Works _0017
Interior view, 3rd floor, S wall detail of infilled old elevator opening with transom, view S.

MD_Allegany County_Footer's Dye Works _0018
Interior view, 3rd floor, S wall detail of current elevator opening, doors closed, view SW.

MD_Allegany County_Footer's Dye Works _0019
Interior view, 4th floor, view W.

MD_Allegany County_Footer's Dye Works _0020
Interior view, 4th floor, S wall detail of current elevator opening, doors open, view S.

MD_Allegany County_Footer's Dye Works _0021
Interior view, 4th floor, detail of skylight.

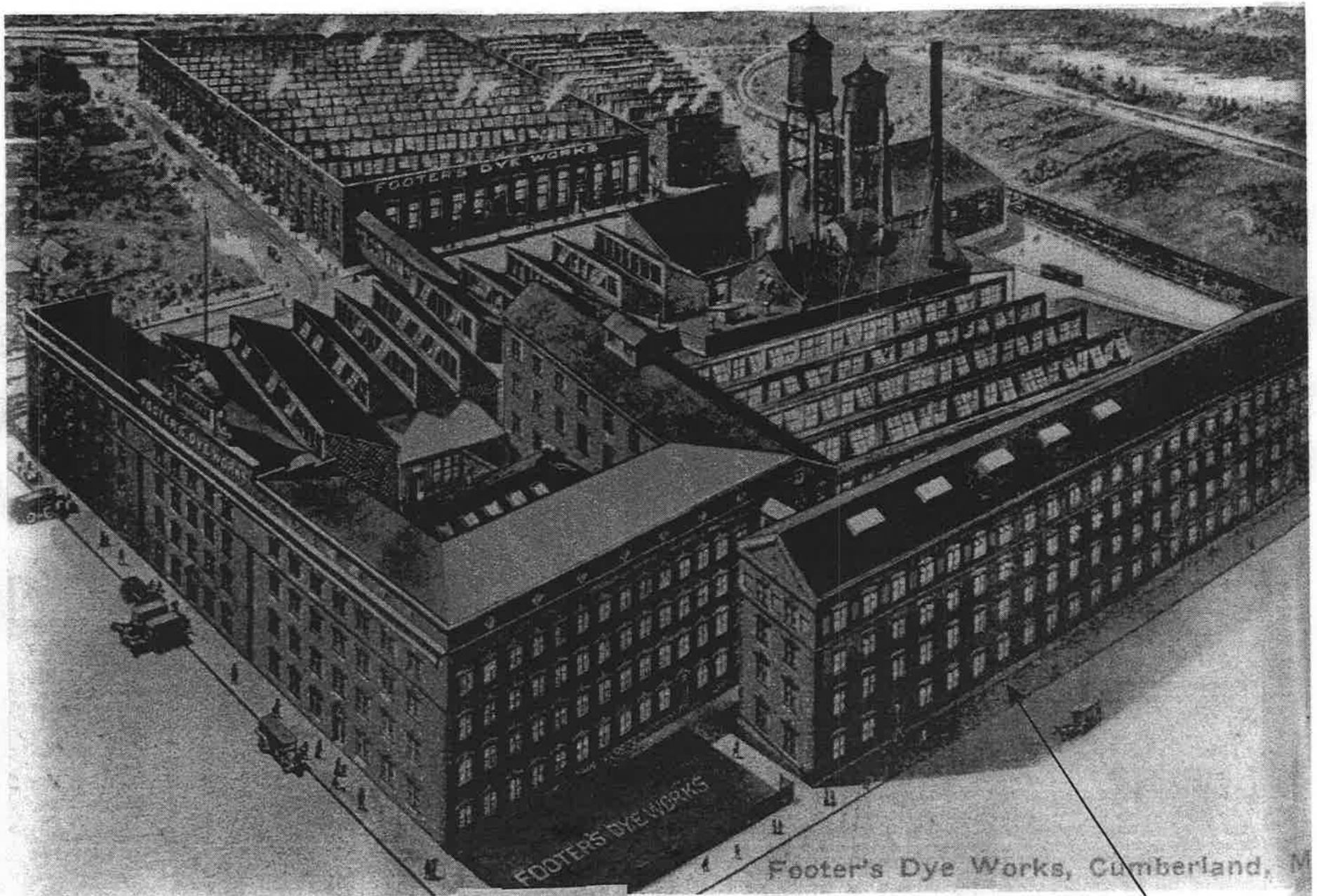


Figure 2:
1911 Post Card of Footer's Dye Works complex
(Canal Place Authority vertical file, Cumberland, MD)

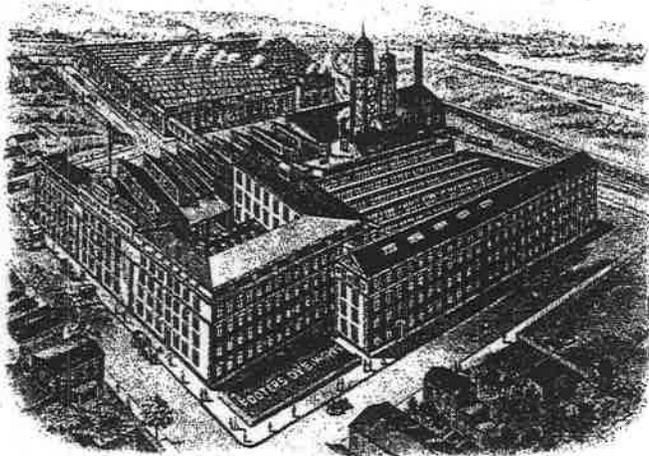
Footer's Dye Works, AL-IV-A-171
Howard St., Cumberland
Allegany Co., Maryland

AMERICA'S GREATEST CLEANING AND DYEING WORKS.

Footer's Dye Works
INCORPORATED.
EXPERT DYERS
AND *CLEANERS*

CLEANING OF PORTIERS, CURTAINS,
BLANKETS, SILKS, LACES, VELVETS, PLUSH,
LADIES EVENING DRESSES AND GENTLEMENS CLOTHING ETC.

Cumberland, Md.



THE PLACE WHERE CLEANING AND DYEING
HAVE ATTAINED THEIR HIGHEST PERFECTION.

BRANCH OFFICES:

PHILADELPHIA, PA.
1118 CHESTNUT ST.
PITTSBURGH, PA.
637 LIBERTY AVE.
900 FEDERAL ST. N.E.
BALTIMORE, MD.

Figure 3:
Footer's Dye Works Advertisement
(Canal Place Authority vertical file, Cumberland, MD)

Footer's Dye Works, AL-IV-A-171
Howard St., Cumberland
Allegany Co., Maryland

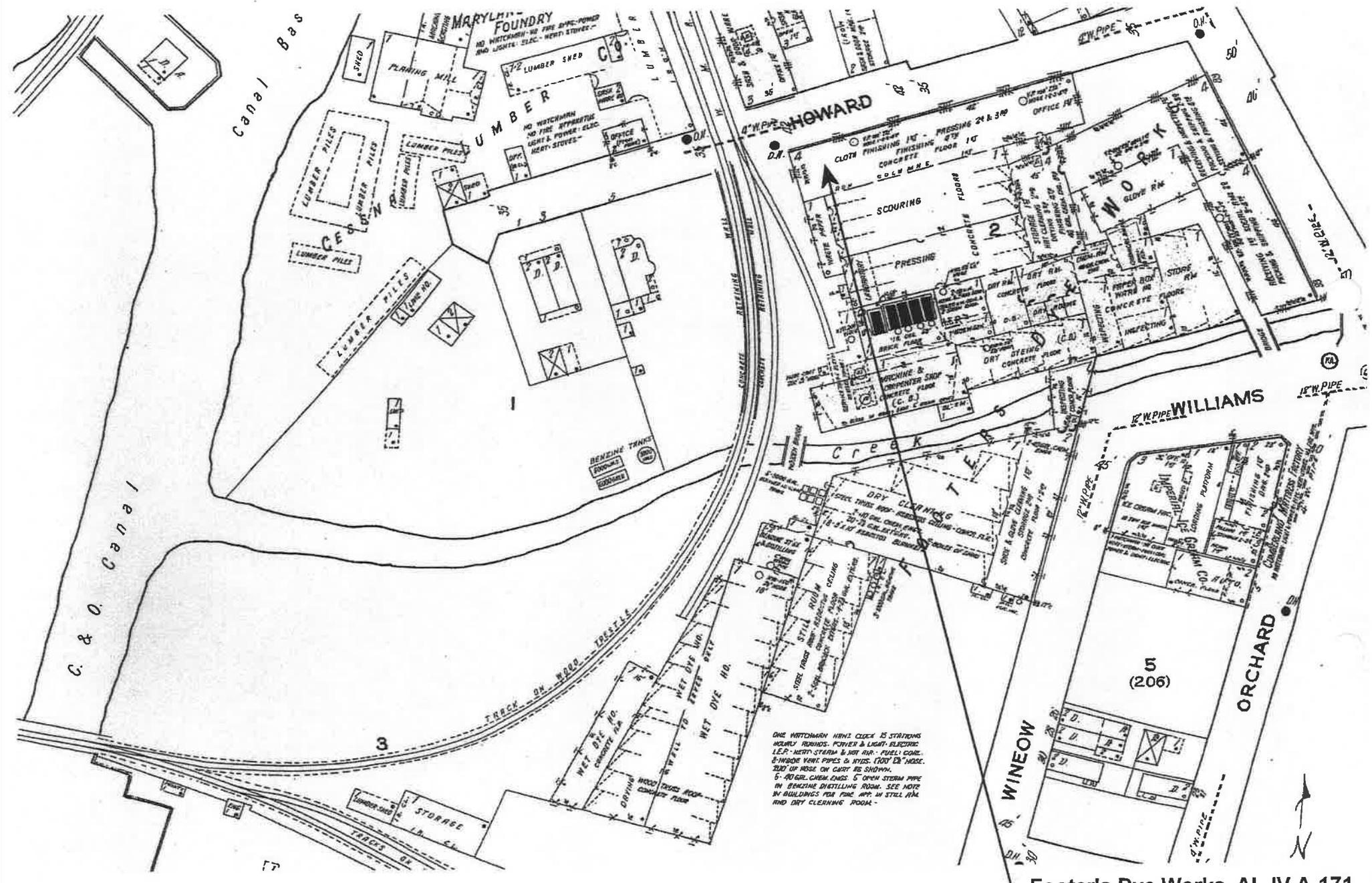
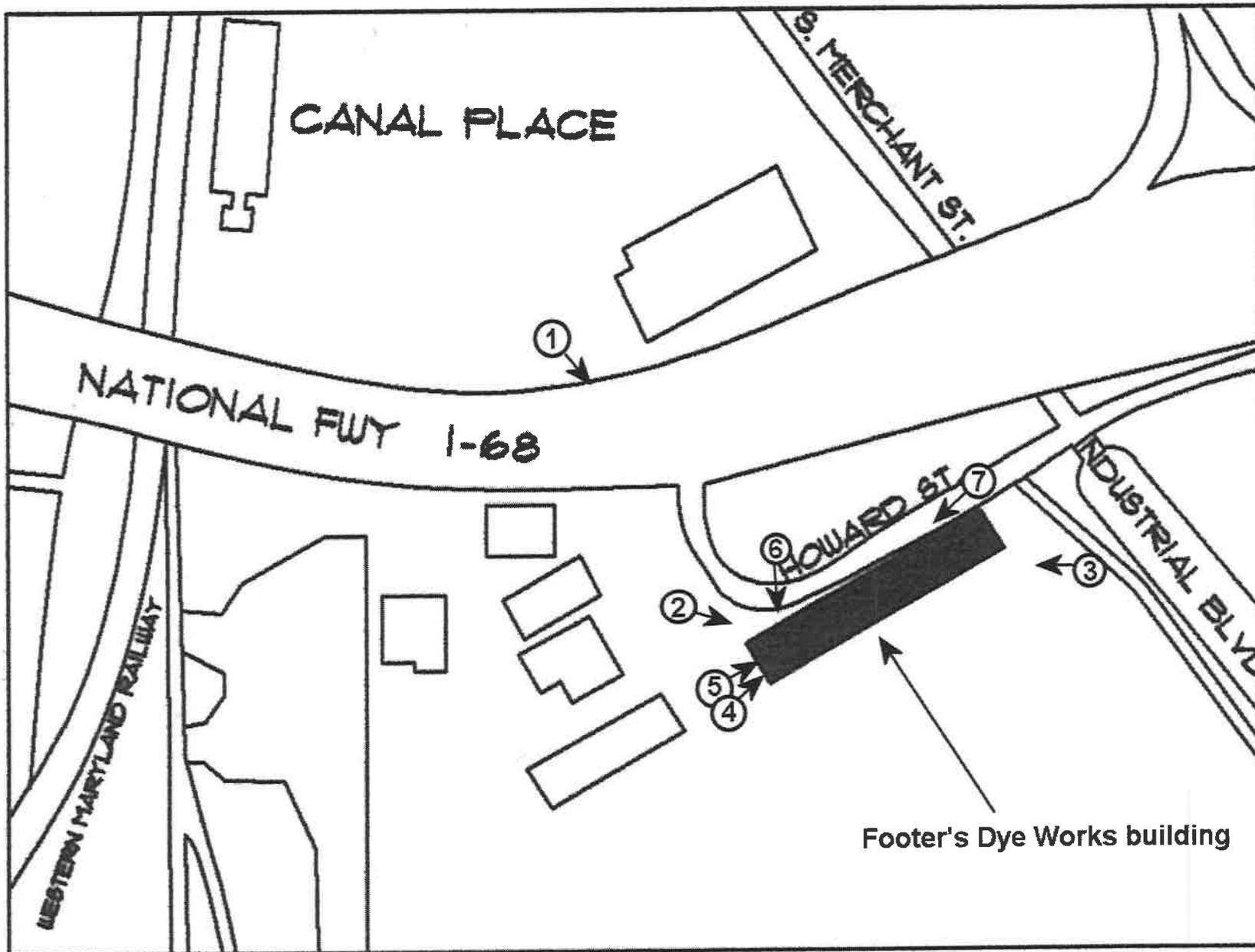


Figure 4:
1921 Sanborn Fire Insurance Co. map

Footer's Dye Works, AL-IV-A-171
Howard St., Cumberland
Allegany Co., Maryland



Footer's Dye Works
 MIHP #AL-IV-A-171
 Howard St., Cumberland
 Allegany Co., Maryland
 Site Plan & Exterior Photo Views

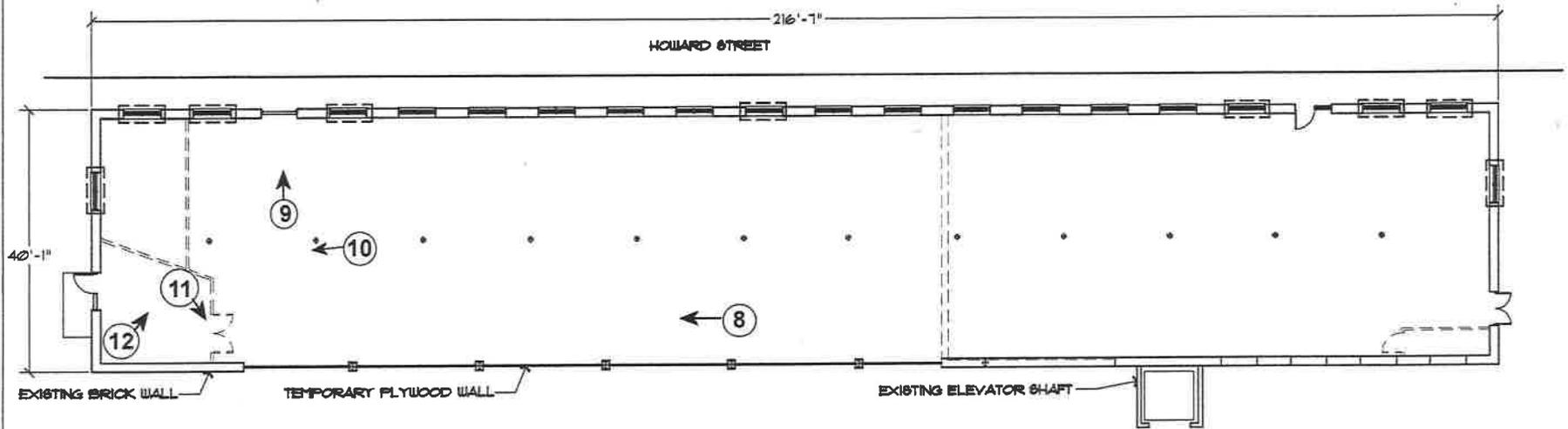


Key
 Photo # and view direction ① ↗

Footer's Dye Works
 MIHP #AL-IV-A-171
 Howard St., Cumberland
 Allegany Co., Maryland
 Floor Plan & Photo Views, First Floor



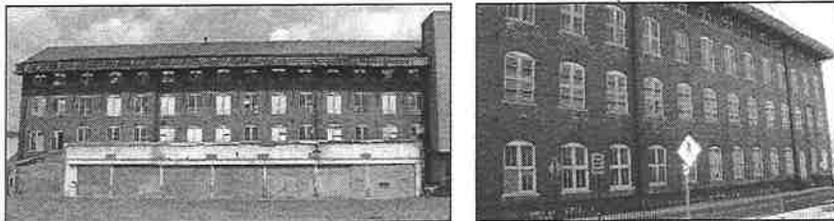
Key
 Photo view and direction ① →



FIRST FLOOR PLAN

SCALE: 1/16" = 1'-0"

EXISTING BUILDING CONDITIONS



NOTES

- □ Suggested windows to be vented with louvers. Window openings that have missing glass or frame should remain the same for each floor (approximately 140 sq. ft. per floor). Cross ventilation must be considered when deciding placement of louvers.

*Drawing backgrounds provided by
 O'Connor Gordon Architectural Group.*



Chambers, Murphy & Burge
 43 E. Market St. Suite 201
 Akron, Ohio 44308
 Phone: (330) 434-9300
 Fax: (330) 434-9331

**MOTHBALLING & STABILIZATION PLAN
 FOOTER DYE WORKS BUILDING
 CUMBERLAND, MD**

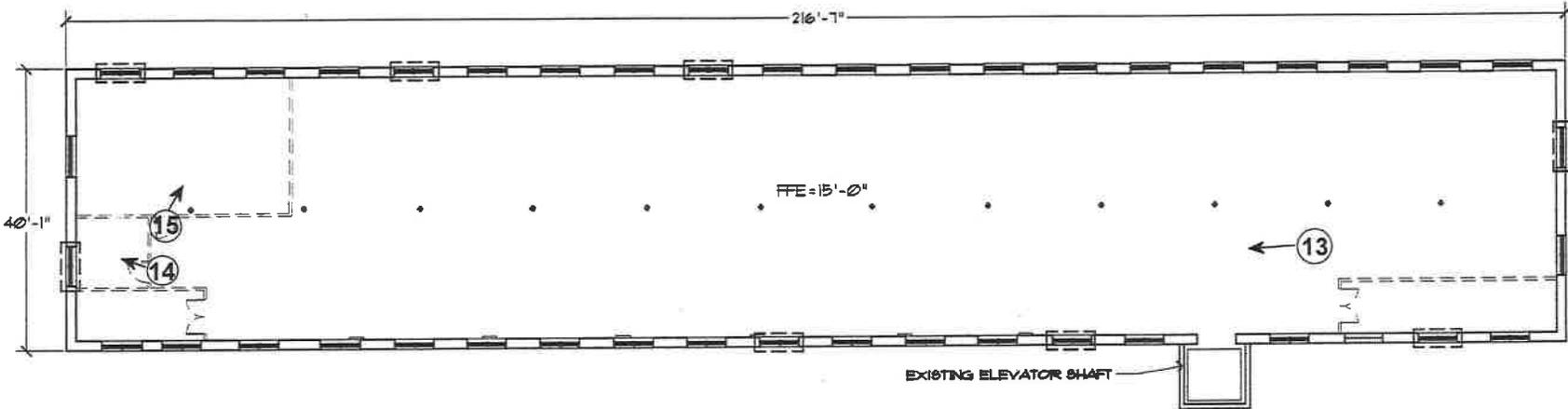
Drawing Title: First Floor Plan
 Location: Cumberland, MD
 Job No. 06-44.01
 Date: 08-24-10

Sheet Number:
A-01

Footer's Dye Works
MIHP #AL-IV-A-171
Howard St., Cumberland
Allegheny Co., Maryland
Floor Plan & Photo Views, Second Floor



Key
Photo view and direction ① →

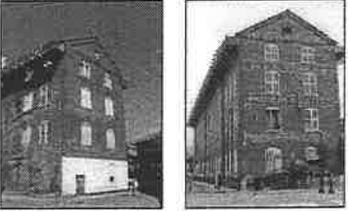


SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"

NOTES

☐☐☐ Suggested windows to be vented with louvers. Window openings that have missing glass or frame should be used first, the square footage of windows should remain the same for each floor (approximately 140 sq. ft. per floor). Cross ventilation must be considered when deciding placement of louvers.

EXISTING BUILDING CONDITIONS



*Drawing backgrounds provided by
 O'Connor Gordon Architectural Group.*



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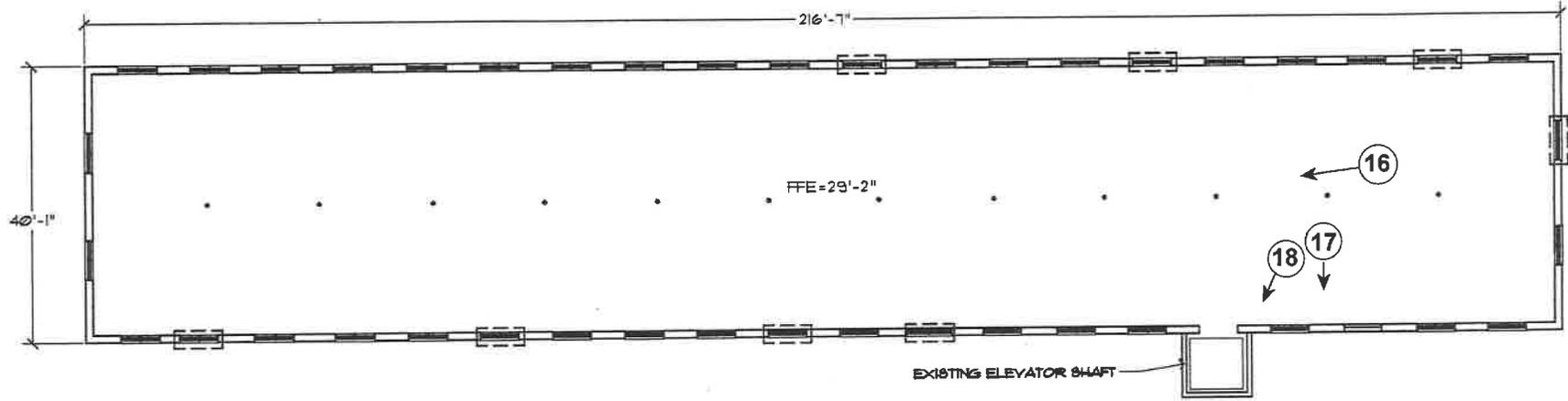
MOTHBALLING & STABILIZATION PLAN
FOOTER DYE WORKS BUILDING
CUMBERLAND, MD

Drawing Title: Second Floor Plan	
Location: Cumberland, MD	
Job No. 06-44.01	Sheet Number: A-02
Date: 08-24-10	

Footer's Dye Works
 MIHP #AL-IV-A-171
 Howard St., Cumberland
 Allegany Co., Maryland
 Floor Plan & Photo Views, Third Floor



Key
 Photo view and direction ① →



THIRD FLOOR PLAN

SCALE: 1/16" = 1'-0"

NOTES

- □ Suggested windows to be vented with louvers. Window openings that have missing glass or frame should be used first. For example, window openings that have been boarded up. The number of windows should remain the same for each floor (approximately 140 sq. ft. per floor). Cross ventilation should be considered when deciding placement of louvers.

*Drawing backgrounds provided by
 O'Connor Gordon Architectural Group.*



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**MOTHBALLING & STABILIZATION PLAN
 FOOTER DYE WORKS BUILDING
 CUMBERLAND, MD**

Drawing Title: Third Floor Plan

Location: Cumberland, MD

Job No. 06-44.01

Date: 08-24-10

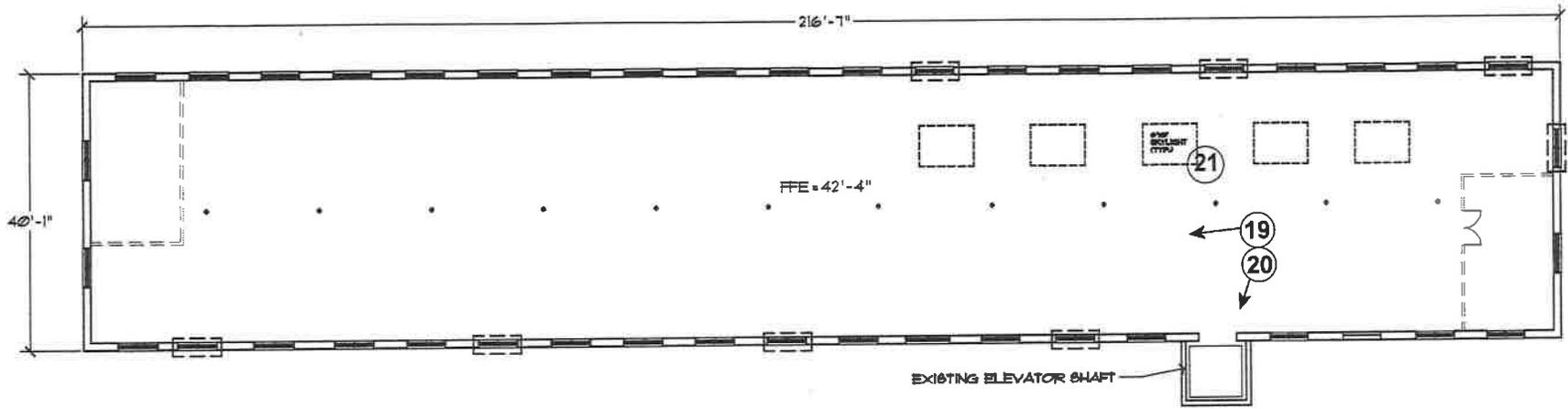
Sheet Number:

A-03

**Footer's Dye Works
 MIHP #AL-IV-A-171
 Howard St., Cumberland
 Allegany Co., Maryland
 Floor Plan & Photo Views, Fourth Floor**



Key
 Photo view and direction ① ↗



FOURTH FLOOR PLAN
 SCALE: 1/16" = 1'-0"

NOTES

□ □ Suggested windows to be vented with louvers. Window openings that have missing glass or frame should be used first, the square footage of windows should remain the same for each floor (approximately 140 sq. ft. per floor). Cross ventilation must be considered when deciding placement of louvers.

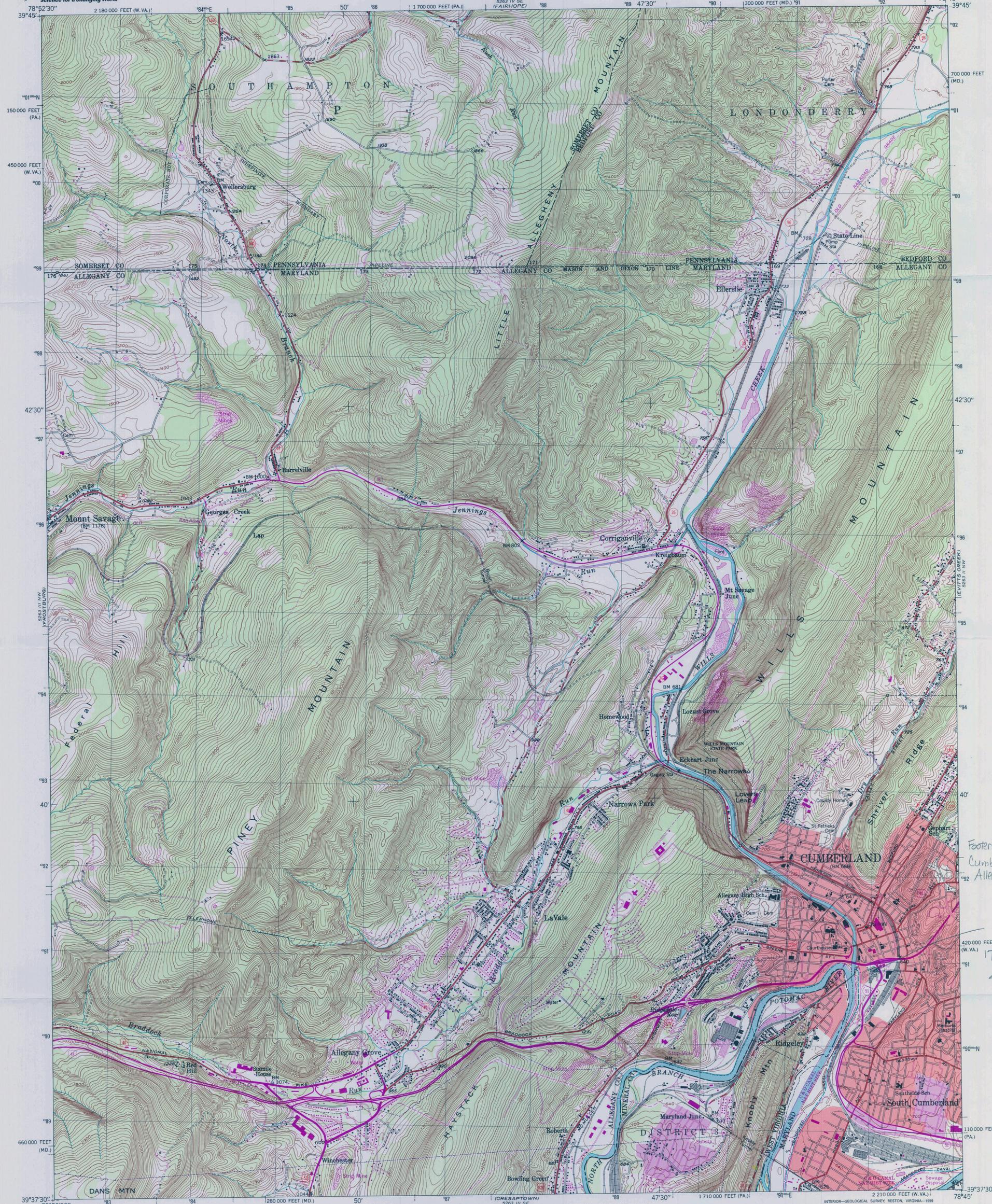
*Drawing backgrounds provided by
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**MOTHBALLING & STABILIZATION PLAN
 FOOTER DYE WORKS BUILDING
 CUMBERLAND, MD**

Drawing Title: Third Floor Plan	
Location: Cumberland, MD	
Job No. 06-44.01	Sheet Number.
Date: 08-24-10	A-04



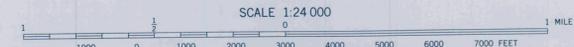
Fosters Dye works
Cumberland
Allegheny Co. MD

420 000 FEET (W.VA.)
17 992 040
4390 900

110 000 FEET (PA.)

9 780 607 903 935

Produced by the United States Geological Survey
Topography compiled 1947. Planimetry derived from imagery taken 1977 and other sources. Photospectred using imagery taken 1993; no major culture or drainage changes observed. Survey control current as of 1949. Boundaries, other than corporate, revised 1999
North American Datum of 1927 (NAD 27)
Projection: Maryland coordinate system (Lambert conformal conic)
10 000-foot ticks: Maryland coordinate system, Pennsylvania coordinate system, south zone and West Virginia coordinate system, north zone
1000-meter Universal Transverse Mercator grid, zone 17
North American Datum of 1983 (NAD 83) is shown by dashed corner ticks. The values of the shift between NAD 27 and NAD 83 for 7.5-minute intersections are obtainable from National Geodetic Survey NADCON software
There may be private inholdings within the boundaries of the National or State reservations shown on this map
Information shown in purple may not meet USGS content standards and may conflict with previously mapped contours



CONTOUR INTERVAL 20 FEET
NATIONAL GEODETIC VERTICAL DATUM OF 1929
TO CONVERT FROM FEET TO METERS, MULTIPLY BY 0.3048



ROAD CLASSIFICATION
Primary highway, hard surface
Secondary highway, hard surface
Light-duty road, hard or improved surface
Unimproved road

Interstate Route U.S. Route State Route

CUMBERLAND, MD.-PA.-W.V.A.

1993

NIMA 5263 III NE-SERIES V833

THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS
FOR SALE BY U.S. GEOLOGICAL SURVEY, P.O. BOX 25286, DENVER, COLORADO 80225
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST



AL-VI-A-171

Footer's Dye Works
Howard St., Cumberland
Allegany Co., MD
Eddie Wallace

July 2012

MD SHPO

Setting, view S looking under the I-68 overpass along
the Western MD RR right-of-way path.

1 of 21



AMERICA'S GREATEST

WELLS FARGO
SPECIAL CLEARING
CASHIER
• Mail Orders •
• Cash Paid •
• Bank Checks •
• Deposits •

12	13
14	15
16	17
18	19
20	21

AL-IV-A-171

Footer's Dye Works

Howard St., Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

Exterior view, N and W elevations, view SE.

2 of 21



AL-W-A-171

Footers Dye Works

Howard St., Cumberland

Allegany Co., MD

Edie Wallace

July 2012

MD SHPO

Exterior View, S and E elevations, view NW

3 of 21



AMERICAS GREATEST

AL-IV-A-171

Footer's Dye Works

Howard St, Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MD SHPO

Exterior view, W elevation detail of painted sign; view E

4 of 21



AL-IV-A-171

Footer's Dye Works
Howard St., Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MD SHPO

Exterior view, brickwork detail of W gable end.

5 of 21



AL-IV-A-171

Footer's Dye Works

Howard St, Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MD SHPO

Exterior view, N elevation detail of NW door and windows.

6 of 21



AL-IV-A-171

Footer's Dye Works
Howard St., Cumberland
Allegheny Co., MD

Eddie Wallace

July 2012

MD SAPO

Exterior view, N elevation showing NE door, view W
toward Canal Place festival grounds.

7 of 21



Capri

Styrofoam

D

AL-IV-A-171

Footer's Dye Works

Howard St., Cumberland

Allegany Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 1st floor, view W

8 of 21



AL-IV-A-171

Footer's Dye Works
Howard St., Cumberland
Allegany Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 1st floor, N wall showing arched
entrance with fanlight

9 of 21



AL-IV-A-171

Footers Dye Works
Howard St., Cumberland
Allegheny Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 1st floor, view to SW corner showing
stairwell enclosure and restroom enclosure

10 of 21



AL-IV-A-171

Fosters Dye Works
Howard St., Cumberland
Allegany Co., MD
Eddie Wallace
July 2012
MD SHPO

Interior view, 1st floor, SW stairwell detail of
double doors, view SE.

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AL-IV-A-171

Footers Dye Works

Howard St., Cumberland

Allegheny Co., MD

Edie Wallace

July 2012

MD SHPO

Interior view, SW stairwell 1st to 2nd floor, view NE
From mid-landing

12 of 21



AL-IV-A-171

Footers Dye Works

Howard St., Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 2nd floor, view W toward stairwell,
restroom, + office enclosures

13 of 21



meow

mine

NEKRA

meow

AL-IV-A-171

Footers Dye Works

Howard St., Cumberland

Allegany Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 2nd floor, view W inside restroom
enclosure

14 of 21



AL-IV-A-171

Footers Dye Works

Howard St., Cumberland

Allegany Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 2nd floor, view NE inside office enclosure

15 of 21



AL-IV-A-171

Plus

HP Premium

Footers Dye Work
Howard St., Cumberland
Allegany Co., MD
Eddie Wallace

July 2012
MDSHPD

Interior view, 3rd floor, view W

16 of 21



AL-IV-A-171

Footers Dye Works

Howard St, Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 3rd floor, S wall detail of infilled old
elevator opening with transom, view S

17 of 21



AL-IV-A-171

Footers Dye Works

Howard St., Cumberland

Allegany Co, MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 3rd Floor S wall detail of current elevator
opening, doors closed, view SW

18 of 21



AL-IV-A-171

Footers Dye Works

Howard St., Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MDS#PO

Interior view, 4th floor, view W

19 of 21



AL-IV-A-17F

Footers Dye Works

Howard St., Cumberland

Allegheny Co., MD

Eddie Wallace

July 2012

MDSHPO

Interior view, 4th floor, S wall detail of current elevator
opening, doors open, view S

20 of 21



AL-IV-A-171

Footers Dye Works
Howard St., Cumberland

Allegany Co., MD

Eddie Wallace

July 2012

MD SHPO

Interior view, 4th floor, detail of skylight

21 of 21