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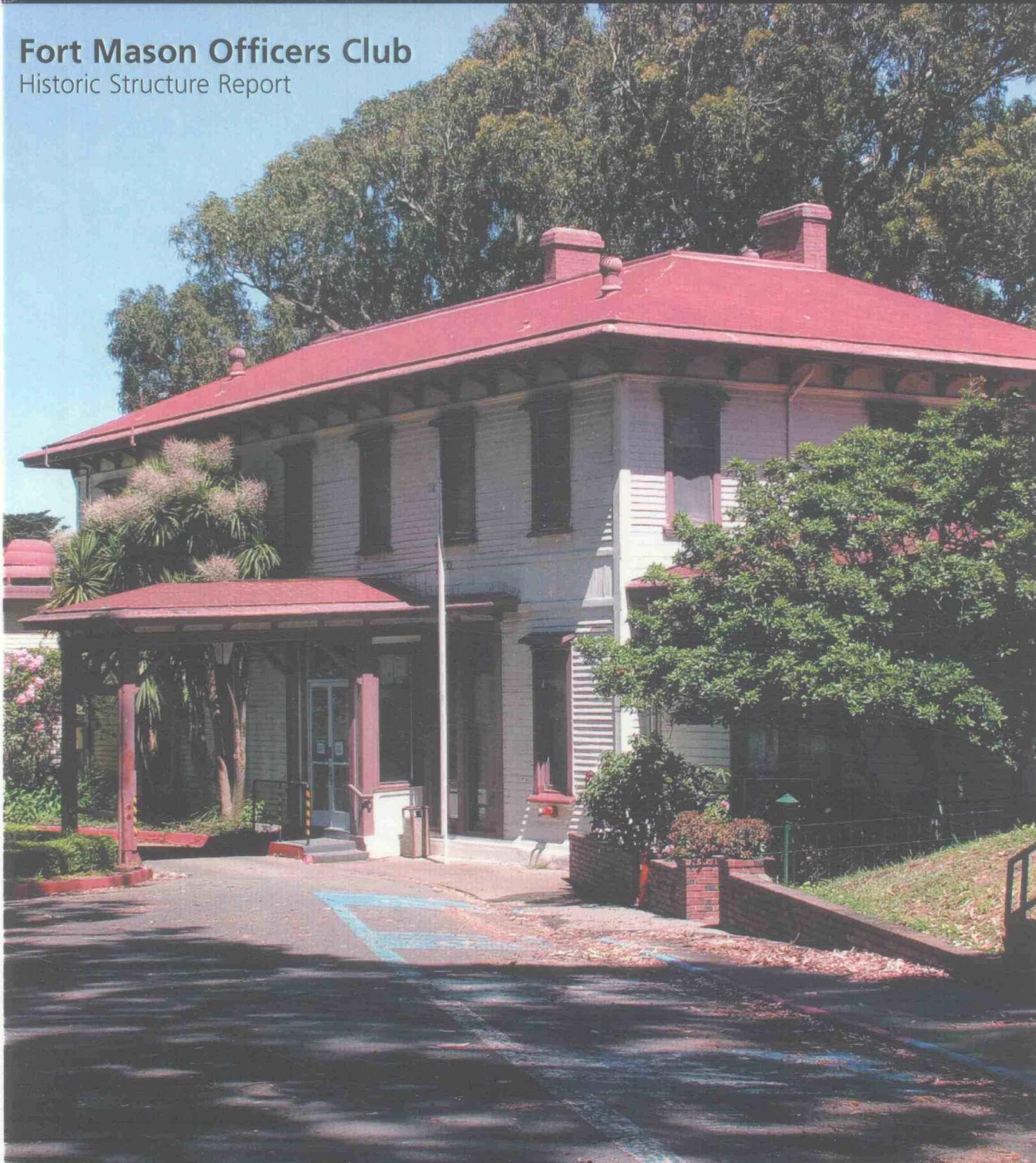
National Park Service  
U.S. Department of the Interior

Golden Gate National Recreation Area  
San Francisco, CA 94123

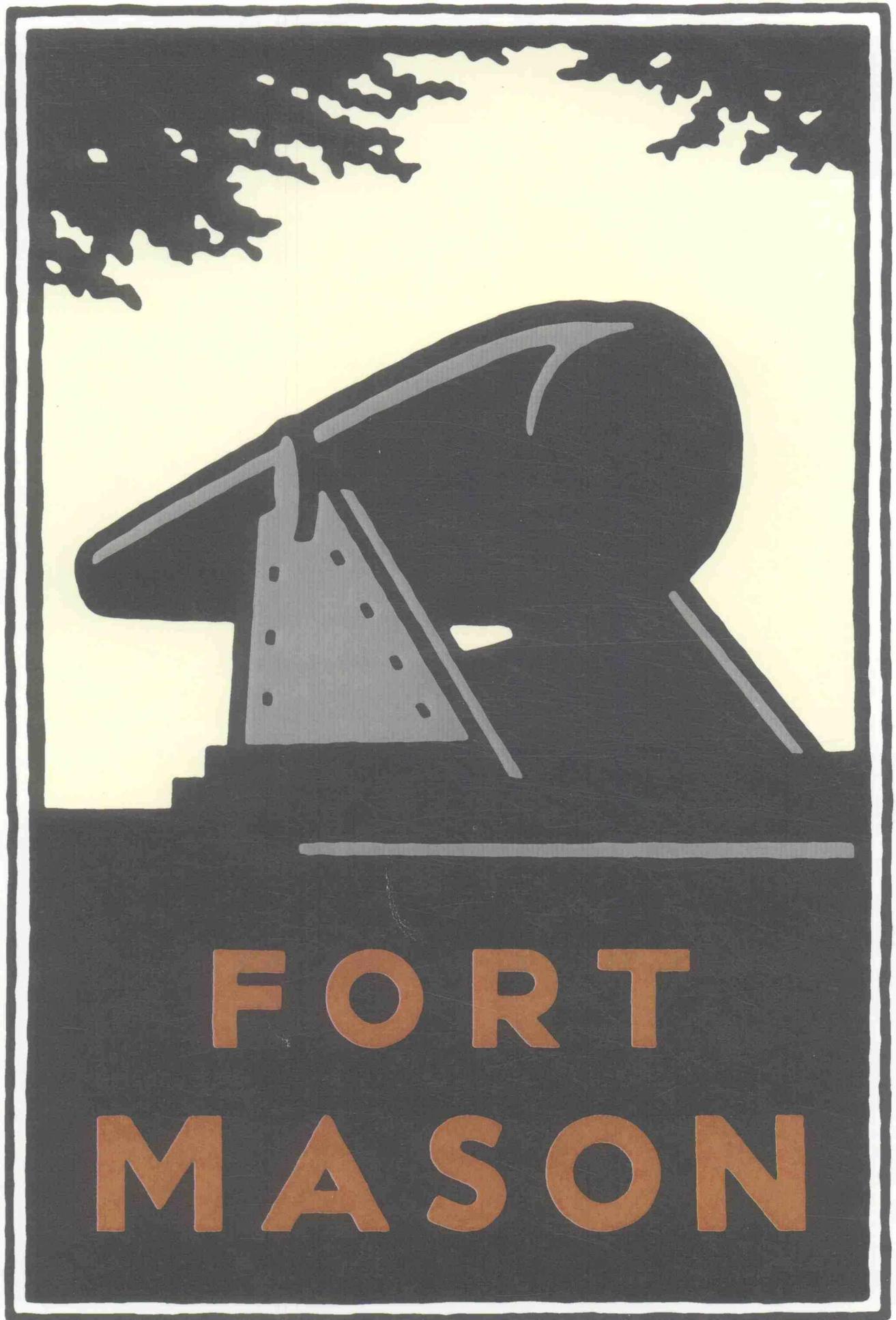


# Fort Mason Officers Club

## Historic Structure Report



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Michael Schwab



# United States Department of the Interior

NATIONAL PARK SERVICE  
Golden Gate National Recreation Area  
Fort Mason, San Francisco, California 94123

IN REPLY REFER TO:

H2017 (GOGA-CRMM)

October 5, 2006

Dear Colleague:

Enclosed is a printed copy of the *Fort Mason Officers Club Historic Structure Report*, written by the Golden Gate National Recreation Area, National Park Service. This document provides in-depth information regarding the building's interpretative and physical history. The document also contains a comprehensive collection of historic floor plans, building evolution illustration drawings, historic photographs and contemporary images that can be used as tools for future interpretation and building rehabilitation.

If you have any comments or questions, please contact me at (415) 561-4484 or [kristin\\_baron@nps.gov](mailto:kristin_baron@nps.gov)

Sincerely,

Kristin L. Baron  
Architectural Historian

Enclosure

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# Fort Mason Officers Club

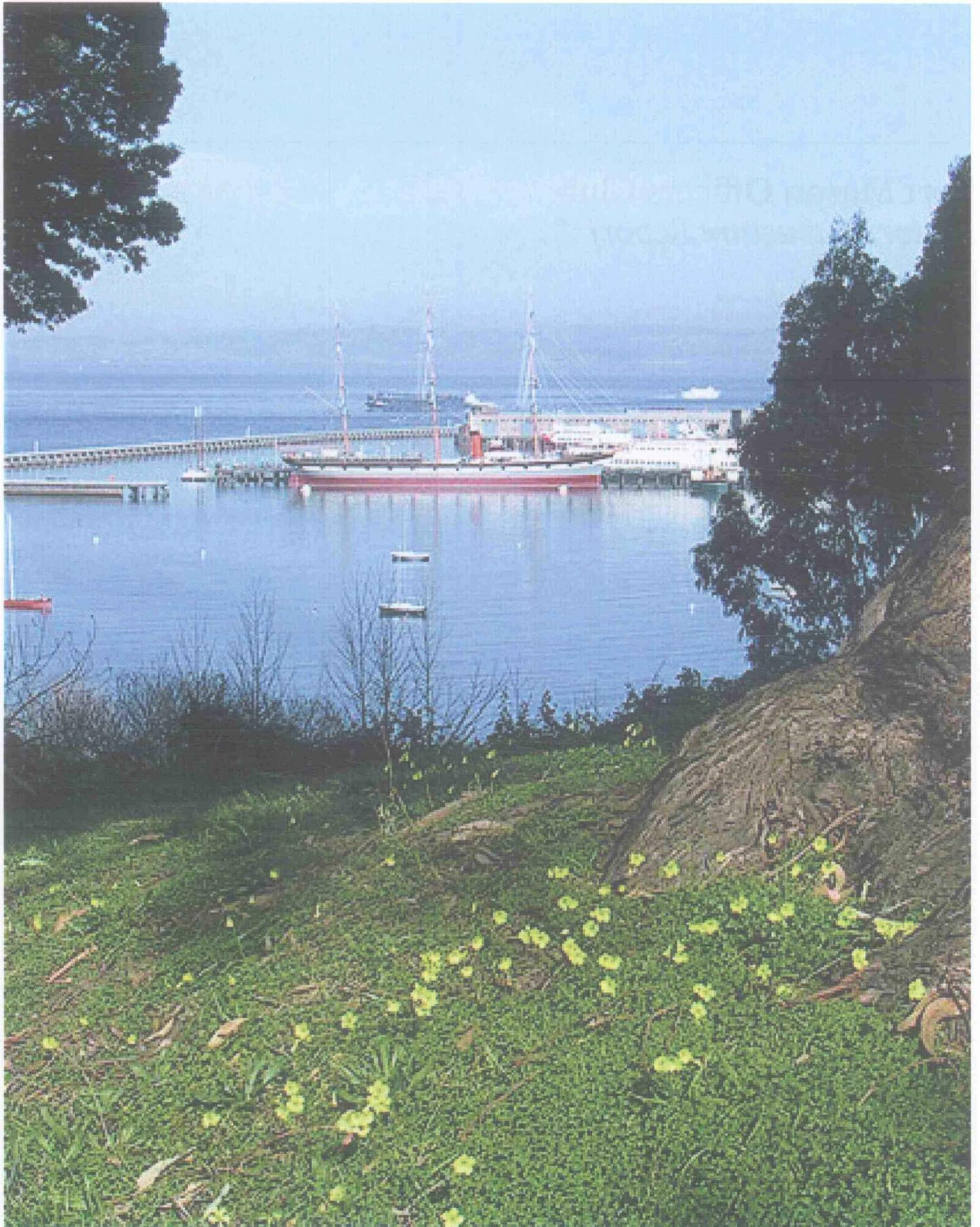
## *Historic Structure Report*

Golden Gate National Recreation Area  
San Francisco, CA 94123

Produced by the Cultural Resources and Museum Management Division  
National Park Service

U.S. Department of the Interior  
Washington, DC

**May 2005**



The Officers Club is known for its spectacular views of the San Francisco Maritime Historical Park and the Bay beyond. (John Kalucki, 2002)

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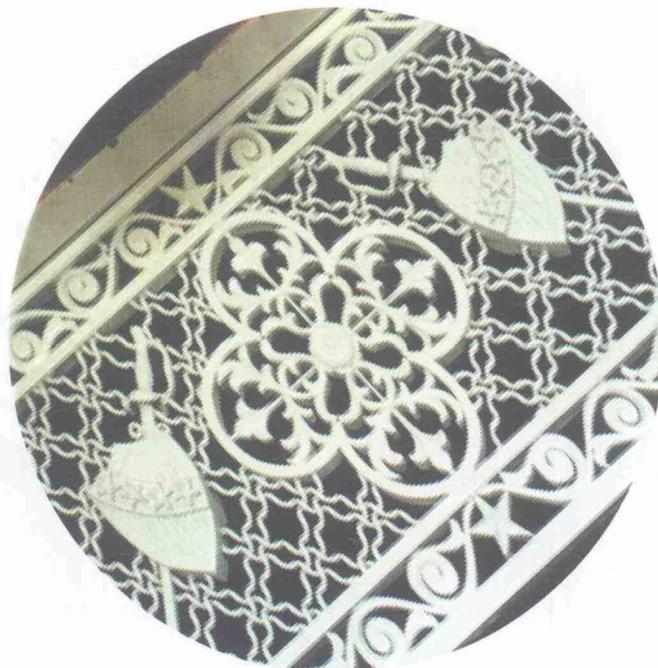
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MILITARY RESERVE  
POINT SAN JOSE CAL.

January 1877

Laguna Street

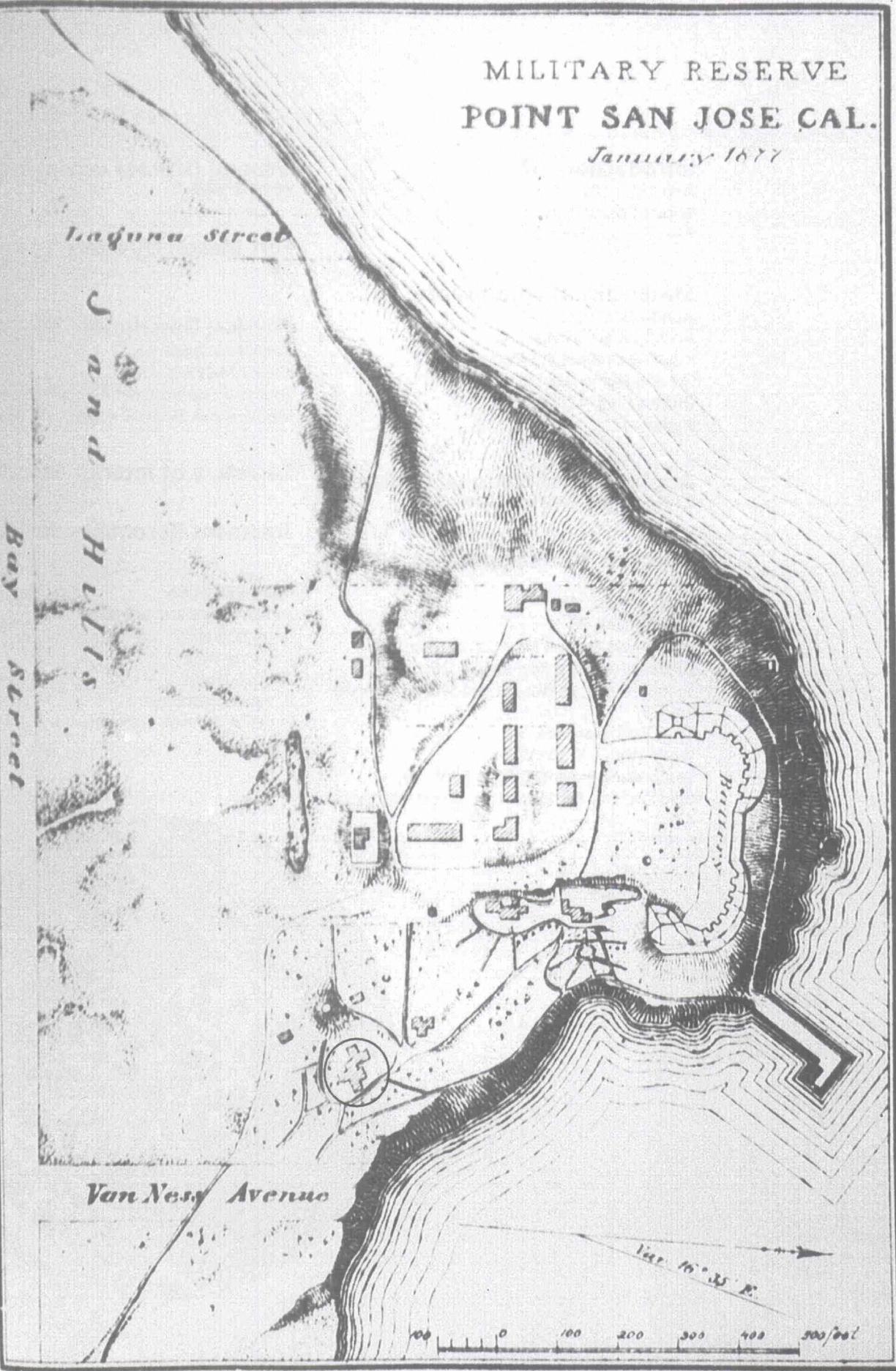
Sand Hills

Bay Street

Van Ness Avenue

Battery

187° 15' 35" E.



# Introduction

*This Historic Structure Report was prepared by the National Park Service (NPS), Division of Cultural Resources and Museum Management (CRMM), Golden Gate National Recreation Area (GOGA), with the assistance of the Golden Gate National Parks Conservancy (Parks Conservancy), a designated National Park Service cooperating association operating under the NPS Cooperating Associations Policies, Standards and Guidelines, NPS 32.*

## Preparation

The Historical Architect in charge of the report was Jane Lehman (NPS-CRMM). The report was co-produced by Jason Hagin of the Parks Conservancy and Kristin Baron, Architectural Historian (NPS-CRMM). John Martini, consulting with the Parks Conservancy, conducted the historical research.

## Relevant Documents

The *General Management Plan/Environmental Analysis* (GMP, September 1980) is the main planning document for the Golden Gate National Recreation Area. Other relevant documents that related to the planning for the Fort Mason Officers Club include the *Fort Mason Historic Resource Study* (draft, 1979) written by Erwin Thompson and *Special History Study: Fort Mason, the Forgotten Crossroads* (2004) written by Rudy Evenson, Ph.D. The *Cultural Landscape Report for Fort Mason: Golden Gate National Recreation Area* (draft, 2003) written by the Olmstead Center for Landscape Preservation, was also an important resource document. The *National Register Nomination Form for the San Francisco Port of Embarkation, U.S. Army* (1980) written by Erwin Thompson, provides important background information.

Locally, there are four sources of primary research materials: 1) The Historic Document Collection of the Golden Gate National Recreation Area, located at the Park Archives and Records Center at the Presidio of San Francisco; 2) The San Francisco Public Library; 3) the Bancroft Library at University of California, Berkeley; 4) San Francisco Maritime National Historic Park. Outside of the Bay Area, the other areas for research were 1) California Society of Pioneers in Sacramento, California and 2) the Main branch of National Archives and Records Administration (NARA) located in Washington, D.C. Specific record groups at NARA include RG 77, Records of the Corps of Engineers and RG 92, Records of the Quartermaster General.

## Executive Summary

The Fort Mason Officers Club contributes to the Fort Mason Port of Embarkation National Historic Landmark.

In 1877, this wood-frame Italianate building was constructed for General Irvin McDowell, who commanded the Military Division of the Pacific. Before the army had reclaimed this area and renamed it Point San Jose, it was formerly known as Black Point and was a neighborhood of wealthy San Francisco intellectuals and business men. From 1877 to 1943, this commanding general's quarters was used as both as a residence for many important generals and the site for important military functions. Over the years, many important generals both lived and occasionally worked out of this building. During the 1906 earthquake, General Funston commanded the military's involvement for the earthquake relief from this building. In 1943, the building was converted to an officer's club, providing social and dining space, as well as short-term accommodations. Over time, different army posts or installations operated and managed the Officers Club; the club was finally closed in January 2003.

The National Park Service has prepared this Historic Structure Report to both document and provide treatment recommendations for this important building. Primary and secondary historic research has been conducted and historic photographs have been analyzed to prepare the building's overall developmental history. Every room in the building has been surveyed, to document existing building features, assess historic fabric and to quantify existing conditions. Historic floor plans have been analyzed to identify changes to the building over time.

The historic core of the Fort Mason Officers Club stands much today as it was when it was originally constructed in 1877. The original historic rooms on the 1<sup>st</sup> floor are the library, the reception room, the parlor, the aide's room (now the women's restroom) and the conservatory.

Map of Point San Jose, 1877. Brooks-Grisar house, circled, is located in the lower left-hand corner of the post.

The existing kitchen wing, constructed in 1960, replaced the original kitchen wing that was part of a pre-existing 1855 structure. The social hall was constructed in 1948 and the dining room was added on in 1960. The 2<sup>nd</sup> floor consists of bedrooms and bathrooms and retains much of the original historic building layout.

The Officers Club is listed on the List of Classified Structures (LCS) and its structure number is FM0001.

## Statement of Significance

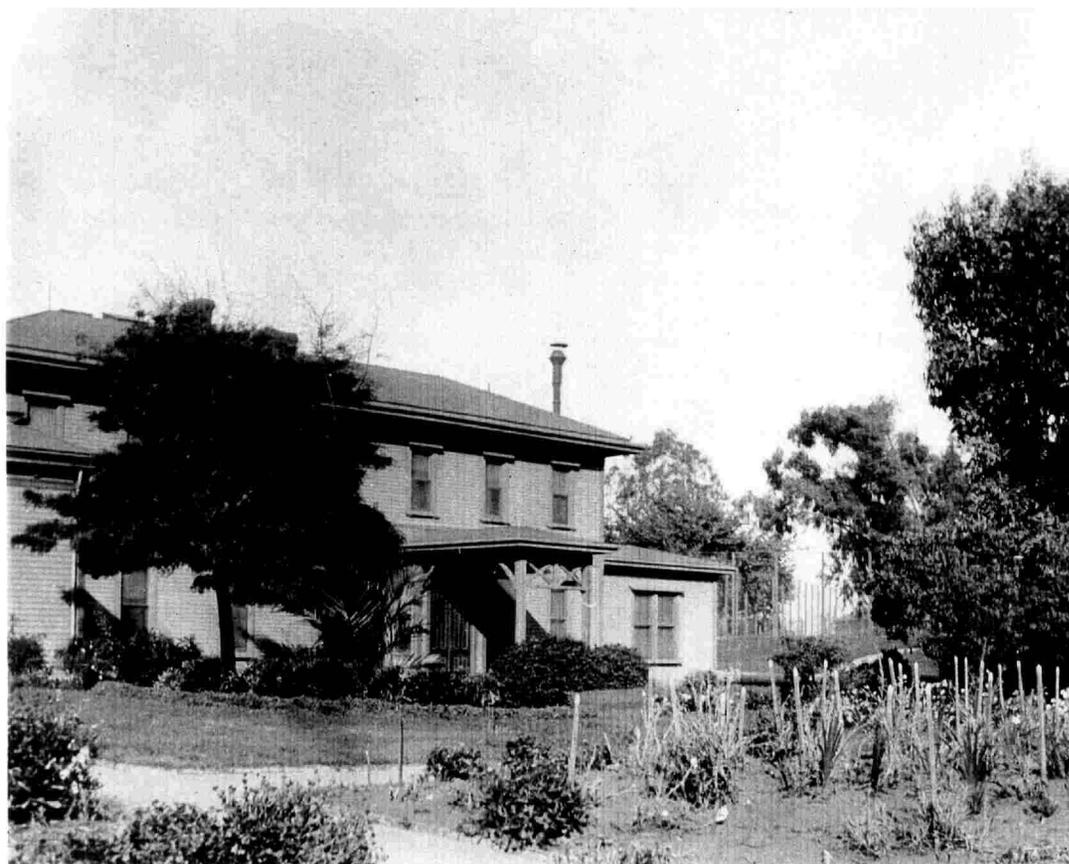
*McDowell Hall at Fort Mason is one of San Francisco's nearly forgotten historic treasures. Tucked away in a tree-shaded hillside overlooking Aquatic Park, the building's origins stretch back to the end of the Civil War when the U.S. Army decided to seize and remodel a house on this location as the residence for the senior Command General of the army's vast Department of the Pacific.*

### Introduction

McDowell Hall's history began in 1877, when the modest house that was originally on this site was moved and a luxurious Italianate residence was built in its place – a structure more befitting the rank of the general residing there. It would also provide a symbol of the government's authority in the west when the general entertained visiting local and foreign statesmen. Between 1865 and 1943 virtually every significant general officer in the western states lived at the house including such famous (and infamous) personages as Irvin McDowell, Nelson Miles, Arthur MacArthur, Frederick Funston, and John DeWitt. In its role as the Commanding General's residence, the house was also the site of visits by numerous foreign and local dignitaries including military figures and at least two Presidents of the United States.

In 1943 the general's house was converted into an "open mess" for officers assigned to the San Francisco Port of Embarkation at Fort Mason and Oakland Army Terminal. For the next six decades it served an ever-expanding role as a dining facility and transient housing for active duty and retired military personnel, earning the reputation as one of the Army's most historic and scenic officers clubs. The Fort Mason club was so popular that even after the closure of the Oakland Army Terminal, the club continued to operate under the sponsorship of the faraway Presidio of Monterey. When the Fort Mason Officers Club finally closed in January 2003, its passing was mourned by military and civilians alike who had come to appreciate the structure's views, history, ambience, and important role in California and American history.

Quarters 1, circa 1900. Note the original wooden front doors and immature vegetation in front of the building. (GOGA 2316)



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*The Spaniards called the the peninsula “Punta de San Jose,” but Yankee settlers nicknamed the area “Black Point” for the dark vegetation growing there that set the point apart from the surrounding sand dunes.*

---

Over the years the residence experienced some modification and modernization, but its front facade and primary interior spaces remain relatively unchanged, so that the core building possesses considerable historical integrity today. It probably housed more illustrious residents than any other single house in San Francisco. Two Presidents of the United States were entertained there, Ulysses S. Grant in 1879 and Rutherford B. Hayes in 1880.

#### **Gold Rush and Civil War**

On November 6, 1850, President Millard Fillmore used his executive powers to set aside large tracts of land surrounding San Francisco Bay for eventual use as fortification sites and naval facilities. Included in this executive order was a small area at the northern tip of the San Francisco peninsula that Spaniards called “Punta de San Jose,” but nicknamed “Black Point” by Yankee settlers for the dark vegetation growing there that set the point apart from the surrounding sand dunes.

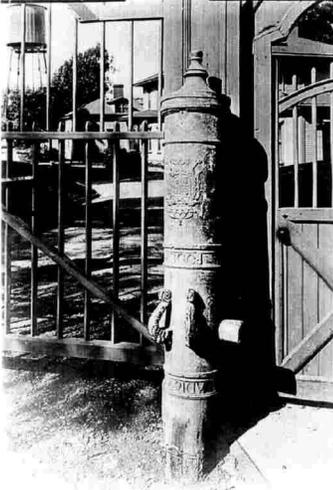
Although President Millard Fillmore had set aside the land as a military reservation, confusion grew among local civilian authorities over exactly what areas were indeed government lands. The army had no troops available to occupy Point San Jose, so numerous squatters laid claim to the area in the years that followed and the small army garrison at the Presidio of San Francisco was unsuccessful in repeated efforts to drive them off. Between 1850 and 1863, the Black Point area developed into an early suburb of San Francisco and some of the city’s most distinguished citizens lived there, including merchants, bankers, politicians, and the renowned army explorer and adventurer John C. Fremont.

It was not until late 1863 when, pressed by the threat of Confederate naval attack on San Francisco during the Civil War, that the army finally occupied this military reservation and constructed artillery batteries at the tip of the point. Southeast of these batteries and in the heart of the reservation stood six private residences erected and occupied by squatters in the preceding years. Between 1863 and 1865, the army succeeded in evicting the squatters and seizing the six structures, three of which it turned into officers’ quarters and three of which it demolished.

George Brooks, editor of the pioneer newspaper *Golden Era*, around 1855, had built the sixth and southernmost private residence on Black Point. It was a rambling 1-1/2 story wood frame structure with both Stick and Queen Anne style elements, which in ensuing years passed through several owners to a wool merchant named Emil Grisar. For a brief period in 1864-1865, Grisar leased the house to an army surgeon likely assigned to the new Point San Jose Military Reservation. On August 30, 1865, Major General Henry W. Halleck of Civil War fame arrived in San Francisco and took command of the newly formed Military Division of the Pacific – an enormous administrative area that encompassed roughly all U.S. lands west of the Rocky Mountains. The official residence for a general of such high rank and responsibility would normally have been the Presidio of San Francisco, which was located about three miles west of Division Headquarters in commercial building downtown. General Halleck, however, considered the Presidio too far a commute in that horse and buggy era and the army subsequently seized Grisar’s house at Point San Jose and remodeled it for the general’s new residence. During the remodeling, the house was

View of Fort Mason from Aquatic Park, circa 1890. Quarters 1, circled, is just visible, between the trees, to the right of the smoke stack. (SAFR-A11332pl)





Entry gate to Quarters 1, circa 1907. The bronze cannon serving as a fender post dates from the 18th century. It is now on display at the Presidio of San Francisco. (HABS)

reportedly extensively repaired and enlarged. In November 1865 Halleck moved in.

This original residence, referred to hereafter as the Brooks-Grisar House, was subsequently occupied up through 1877 by Major General George H. Thomas, Major General John M. Schofield and Brigadier General E.R.S. Canby, and Major General Irwin McDowell, all of Civil War fame.

#### Indian Wars Through World War II

In 1876, U.S. Army General Irwin McDowell, who had commanded the Army's "Department of the Pacific" in the mid-1860s, returned to San Francisco to command the newly organized "Division of the Pacific." McDowell decided he needed a newer and larger house, one that provided a better place for his official and semi-official entertainment of visiting dignitaries and San Francisco society. On July 7, 1877 the *Daily Alta California* newspaper reported the construction of a new residence for the Commanding General at the Post of Point San Jose.

An army inspection report of 1879 recorded that the main portion of the Brooks-Grisar house was moved a short distance to the north and an entirely new residence of Italianate style had been built adjacent to the 1850s structure's location. This new residence was oriented with its primary façade west towards the Presidio rather than facing east over the bay as the Brooks-Grisar residence had. During the new construction, a small wing from the 1850s house containing a kitchen and servants' bedrooms was likely retained and incorporated into the Italianate residence. This new structure became Quarters #1, Point San Jose Military Reservation.

The old Brooks-Grisar house, remodeled and enlarged at its new site, was officially designated

Quarters 2. It served for many years as the residence for the commanding officer of the Point San Jose post, which the army officially renamed Fort Mason in 1882, and later as the residence of the Commanding Officer of the San Francisco Port of Embarkation.

The first occupant of the new commanding general's residence was, naturally, Major General Irwin McDowell. As historians Thompson and Chappell summarized it, the structure would become the official residence for an astounding parade of military luminaries over the next several decades:

*During the ensuing sixty-six years the residence housed one colonel and forty-four general officers, including sixteen brigadiers, twenty-five major generals, and four lieutenant generals; among them were four officers who each served two different tours there, and two of them served in different ranks. Many of them are obscure today, but among them were men famous in the Civil War (Irwin McDowell, John Schofield, Pope, O.O Howard, Nelson Miles and Gibbon), the later western Indian wars (again Pope, Howard, Miles and Gibbon, as well as Forsyth, William Shafter, Merriam and Maus), the Spanish-American War (Shafter), the Philippine Insurrection (Frederick Funston and Arthur MacArthur, father of Douglas), and World War I (Hines and Hunter Liggett), as well as officers of note in exploration and army modernization such as Adolphus W. Greely of Arctic fame. Even Douglas MacArthur lived there briefly as a major general in 1930. 1*

#### Fire and Earthquake

The earthquake and great fire of 1906 did little damage to the Commanding General's house. The building was quickly pressed into service as the army's emergency headquarters for firefighting and relief activities in the aftermath of the disaster. The divisional commander, General Adol-

View of Fort Mason and the city beyond following the 1906 earthquake and fire. Quarters 1 is in the lower lefthand corner of the photo, 1909. (GOGA-TASC)



fus Greeley, was not in San Francisco at the time of the earthquake so his second in command, Colonel Frederick Funston, assumed command until the general's return. It was Funston who realized that the Divisional Headquarters, located in a downtown San Francisco commercial building, had been grievously damaged during the earthquake. He assessed that the building would probably not survive the expanding fires and ordered an emergency command post established in Quarters 1. Several photos taken the day after the earthquake show Funston and his staff conferring on the lawn outside the residence.

### **Officers Club**

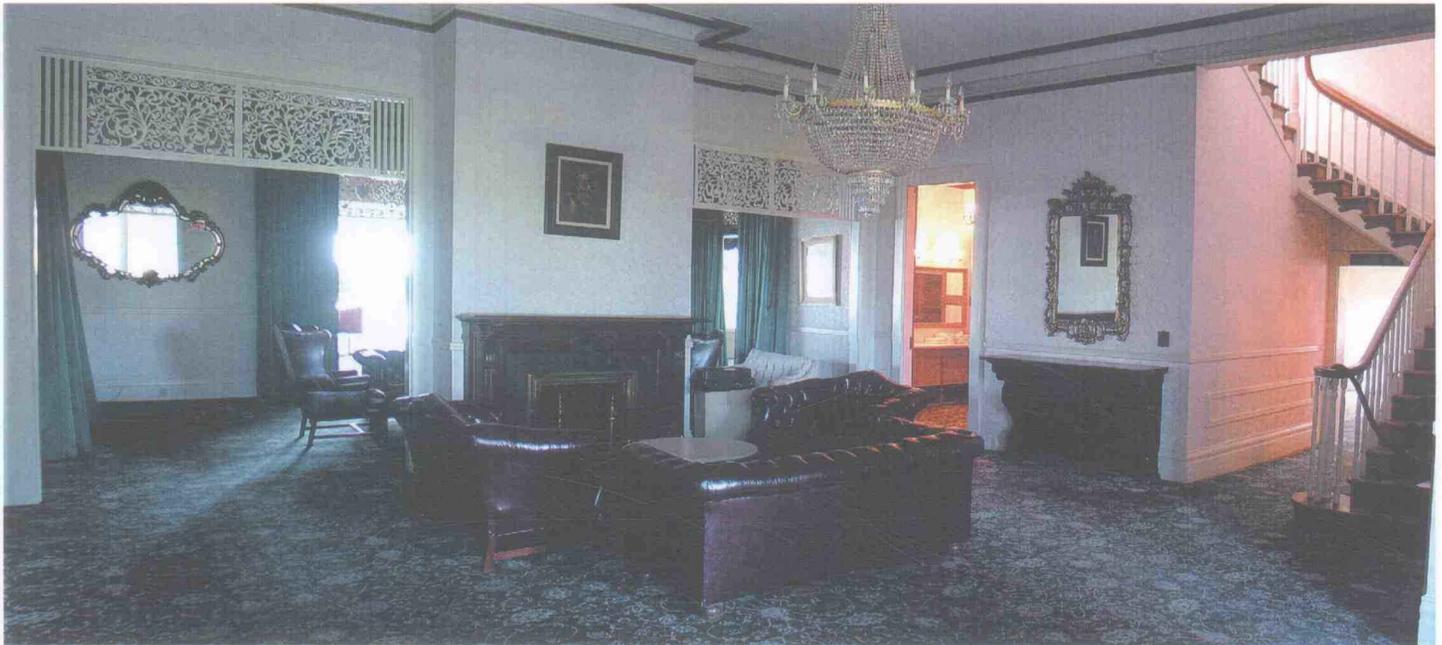
Midway through World War II, a new residence was constructed at the Presidio for the commanding general of the U.S. Army's western forces, a command area designated the Ninth Corps Area. Lieutenant General John L. DeWitt and Major General Kenyon A. Joyce, in charge of the Fourth Army and the Ninth Corps Area, were the two commanding general to live in Officer's Quarters No. 1 during World War II. When DeWitt transferred in September 1943 his successor, Major General Joyce, agreed on September 13 to turn the house over to Major General Frederick Gilbreath, commander of the San Francisco Port of Embarkation, for wartime use as an officers' open mess, or officer's club. Interestingly, Gen. Joyce maintained a private apartment upstairs in Quarters 1 for the first several months of the club's operation, despite the reverberations of what must have been a very energetic wartime officers club.

In 1948 the first major alteration to the structure took place when a spacious social hall addition was constructed adjacent to the southeast facade of the original residence. This new hall served as a ballroom and additional dining space for the new officers club. In 1959-1960, a much more extensive renovation occurred when a large dining room was added to the northeast side of the building and the kitchen rebuilt. In the process of remodeling, a kitchen wing likely dating back to Brooks-Grisar House was demolished and replaced with a new addition on the same footprint.

Despite the fact that major shipping operations at the Port of Embarkation were phased out in the 1950s, Fort Mason continued to serve as a residential area for the Oakland Army Terminal. During this time, the Officers Club in McDowell Hall continued to serve the needs of military personnel living at the post. It also provided temporary housing for visiting military personnel who were housed in the upstairs bedrooms. By the early 1970s, Fort Mason became the headquarters for Golden Gate National Recreation Area. During the 1970s through 1990s, fewer and fewer military families were living at Fort Mason and the club began to rely more and more on retirees and civilian employees working at Fort Mason for its clientele. Due to continuing base closure laws passed by Congress, the number of active duty military personnel in San Francisco plummeted during the 1990s. As a result, the club's clientele was almost exclusively composed of retirees and civilians, many from the nearby

Officers Club shortly before its closing in 2003. (John Kalucki, 2002)





Panoramic view of the Reception Hall. (2004, John Martini)

Marina who had come to think of the Fort Mason Officers Club as a sort of local bed and breakfast. Finally, the Army ordered the Oakland Army Terminal closed in 1997 and all semblance of military need for an officers club at Fort Mason ceased. For several more years, though, the club continued to operate under the sponsorship of the Presidio of Monterey, which is located approximately 100 miles south of San Francisco.

The end of the Officers Club finally came in late 2002 when the Presidio of Monterey announced it could no longer sponsor the Fort Mason club. In January 2003 the club formally closed down and the National Park Service's Golden Gate National Recreation Area assumed responsibility for McDowell Hall.

#### Present

Despite its many additions and modernizations, the historic core of McDowell Hall retains a considerable degree of historical integrity. On the ground floor, the front hall, reception room, parlor, and library (the general's office) are still intact. The east wall of the conservatory overlooking today's Aquatic Park has been extended and the room converted to a cocktail lounge. A large one-story social hall, or ballroom, was added in 1948 to the southeast part of the building, and in 1960 a large dining room was added to the northeast. The 1850s kitchen and servants' wing has been demolished, and the original dining room survives only as part of the cafeteria area, so due to post-1948 modifications the dining room no longer has historical integrity. Upstairs, modest modifications have occurred, mainly regarding bathrooms, closets, and the re-arrangement of the main hallway, leaving the second floor plan essentially intact. The general's bedroom is still identifiable, as are the other bed-

rooms originally designed for family members and visitors.

#### (Endnotes)

1 "Historic McDowell Hall, Fort Mason, San Francisco, California," 1981, written by National Park Service historians Erwin S. Thompson and Gordon Chappell as an interpretive handout for the annual convention of the Council On America's Military Past (CAMP), held that year in San Francisco.



# Application of National Register Criteria of Evaluation

*McDowell Hall has two periods of significance: First as a residence for the army's senior commanding general in the west (1877-1944), and second, as an officers club for the Port of Embarkation during World War II and the Korean War (1944-1953).*

"Period of significance" means the span of time in which structures have attained the significance for which they meet the National Register criteria. The National Register is the nation's inventory of historic places and the national repository of documentation on the variety of historic property types, significance, abundance, condition, ownership, needs and other information. To qualify for the National Register, a property must be significant; that is, it must represent a significant part of the history, architecture, archeology, engineering, or culture of an area, and it must have the characteristics that make it a good representative of properties associated with that aspect of the past.

The Officers Club is a contributing element to the Fort Mason Historic District, which is on the National Register. The Officers Club, while not currently individually listed on the National Register, may be eligible for individual listing in the future. In accordance with the National Register, the historic context may relate to one of the following criteria:

McDowell Hall is considered to have significance to the National Register under Criteria A, B and C in the areas of Architecture, Military History, Politics/Government and Social History. This significance is primarily due to the structure's long-term association with the army's role in the history of the western United States, and in its social relevance to the history of San Francisco in particular.

## Criterion A: Events

*Social History. Military History. Politics/Government. National Level of Significance.*

McDowell Hall is associated with two nationally significant events: The westward and Pacific expansions of the United States during the late 19<sup>th</sup> and early 20<sup>th</sup> centuries; and the 1906 San Francisco earthquake and fire and the army's associated relief efforts following the disaster.

During the last half of the 19<sup>th</sup> century the United States continued its westward expansion, increasingly bringing settlers into often-hostile contact with native peoples. Maintaining order in the western territories came under the jurisdiction of the U.S. Army, and during the era designated the "Indian Wars," American soldiers were put in the untenable positions of protecting both tribal and settlers' rights. Violence was common, and the army mounted frequent campaigns to force nomadic tribes onto newly established reservations, track down raiding parties, or enforce other government policies. The importance of the western military during this period was overwhelming, and the authority of the commanders of the Department of the Pacific and successor commands was far-flung. The generals who commanded most of the army's western troops and who ordered many of the campaigns against Native Americans resided in Quarters 1 at Fort Mason, and their decisions had far-reaching impacts on America's history.

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## National Register Criteria

**Criterion A: Event** - Properties can be eligible for the National Register if they are associated with events that have made a significant contribution to the broad patterns of our history.

**Criterion B: Person** - Properties may be eligible for the National Register if they are associated with the lives of persons significant in our past.

**Criterion C: Design/Construction** - Properties may be eligible for the National Register if they embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.

**Criterion D: Information Potential** - Properties may be eligible for the National Register if they have yielded, or may be likely to yield, information important in prehistory or history.

Beginning in 1898 America underwent another expansionist era, this time directed overseas, when the U.S. went to war with Spain and at its conclusion ended up with an “American Empire.” Newly won territories in the Pacific included the Philippine Islands, Guam, parts of the Marianas Islands, and Hawaii. For several years, U.S. Army forces occupying parts of territories were under direct command of the generals residing at Fort Mason.

Following the devastating San Francisco earthquake and fire of April 18, 1906, Acting Division Commander General Frederick Funston established an emergency command post in Quarters 1, and for nine days he and General Adolphus Greeley (the actual Commander of the Pacific Division) directed the army’s firefighting, evacuation, rescue and relief activities from the building. On April 27<sup>th</sup>, command responsibilities were moved to the Presidio when Quarters 1 became too crowded. Many of Funston’s actions later came under severe scrutiny because of the extreme uses of military force he authorized during the emergency. These included using armed soldiers for crowd control, forced evacuations of civilians, dynamiting buildings to prevent the fires’ spread, and together with the mayor, issuing shoot-to-kill orders against looters. Although martial law was not announced, it was considered by many to be a *de facto* situation.

A gentleman, who has a child had accompanied his father to Quarters 1 during this hectic period following the earthquake, later identified the first floor library as the room used by Funston as his initial headquarters. The army and California Historical Society later designated it “The Funston Room.”<sup>1</sup>

#### **Criterion B: Persons.**

*Social History. Military History. Politics/Government. National Level of Significance.*

Although McDowell Hall is associated with numerous high-ranking military personages it has significance for its association with three military officers who carried out nationally significant actions while working or residing in the structure

**1. General Frederick Funston.** *Military. Politics/Government. Social History.* As described above, Funston’s actions in directing emergency military activities following the 1906 earthquake have national significance to the role of the government’s response to civilian crisis as well as significance for the army’s relief activities for civilians following a natural disaster. Although not actually the occupant of Quarters 1 at the time of the disaster,

Funston moved in on the night of April 18 and directed these important actions from its first floor library/office.

**2. General Adolphus Greeley.** *Military. Social History.* Greeley shares with Funston the significance associated with the U.S. Army’s 1906 relief efforts since he was officially the Department Commander and resident of Quarters 1 at the time of the earthquake. Out of town on the actual day of the disaster, Greeley quickly returned to assume command. At the emergency headquarters at Fort Mason and the Presidio, he set up military command districts within the city and continued to direct emergency army aid activities which included distributing food, clothing, water and other supplies; constructing tent camps for refugees; and establishing medical and sanitation services. Working closely with city officials, General Greeley directed military relief activities for many months following the actual fire and earthquake. Greeley was in residence at Quarters 1 during this period of significant action.

**3. General John J. DeWitt.** *Military. Politics/Government. Social History.* At the start of World War II, General DeWitt commanded both the U.S. Army’s 9<sup>th</sup> Corps Area and also the 4<sup>th</sup> Army. General DeWitt was also intensely suspicious of the loyalty and possibly seditious actions of Japanese nationals and Japanese-American citizens living on the West Coast. Shortly after Pearl Harbor he began planning the internment of these people. In spring 1942 he began enthusiastically carrying out this policy under Executive Order 9066, an action that has been called one of “the worst abuses of civil liberties in the history of the United States.” He was head of Western Defense Command when a Japanese submarine shelled a military depot at Fort Stevens, Oregon, June 22, 1942. It was the first attack by a foreign power on a continental U.S. military installation since the War of 1812. Lt. Gen. DeWitt also commanded Operation Landgrab, the 1943 military battle that stopped the Japanese invasion of Alaska’s Aleutian Islands. DeWitt was in residence at Quarters 1 during this period of significant action.

### Criterion C: Design-Construction.

#### *Architecture. State level of Significance.*

McDowell Hall's exterior architecture and interior treatments reflect its governmental functions in several ways. Designed in a restrained Italianate style, the exterior reflects the prevailing tastes among upper class U.S. citizenry of the era. Constructed of wood instead of masonry, as was typical on the eastern seaboard, the structure represents a local California adaptation of a popular American architectural style of the 1870s.

Inside, important first floor public rooms such as the reception hall, foyer, parlor and library show a high degree of finish and detail typical of an upper-class residence of the era, and were meant to reflect the position and authority of the commanding generals. Interior details such as carved wood grills (fretwork), marble fireplaces, sliding pocket doors, grand staircase and extensive wood trim all evoke the original design and purpose of the spaces, i.e., the entertainment of visiting dignitaries. Upstairs, original bedroom and hall layouts are mostly intact and the spaces maintain their historic character, albeit upgraded. The primary façade on the west side is especially well preserved and appears virtually unchanged since 1877, even retaining its original circular carriage way and wooden porte-cochere where visiting dignitaries were greeted.

Following its completion in 1877, McDowell Hall was repeatedly modernized and upgraded to meet the demands of high-ranking military officers who resided there. After 1943, the original structure was enlarged and remodeled to fulfill its roles as Officers Club and military guest housing. Many of the former alterations illustrate changing tastes in interior décor and reflect the desire of its residents to project an image of contemporary style and elegance. Its alterations for use as an Officers Club, such as a construction of a bar in the basement and the addition of a ballroom on the southeast corner, equally reflect the important evolving use of the building during the Port of Embarkation era. Interior-remodeling efforts continued up until the closing of the Officers Club in 2002, primarily on the second floor, but the core of the 19<sup>th</sup> century residence remains primarily unaltered.

McDowell Hall is a significant example of late 19<sup>th</sup> century San Francisco freestanding Italianate architecture. Its non-historic additions do not greatly detract from the experience of the historic building at the core, especially where primary façade is concerned, and viewed overall it ranks among the most historic buildings in San Francisco.

### (Endnotes)

<sup>1</sup> James Sullivan research notes on Fort Mason and 1906 disaster, Chapter XI, "The 1906 Earthquake and Fire: The Army Comes to the City's Assistance," Box 4, folder 2, "Sullivan Papers", GOGA 32475, PARC, GOGA.



1868 Survey Map. Brooks-Grisar House is circled.

## Quarters 1 Developmental History

*The site of today's Quarters #1 was originally the location of one of the many so-called squatters' residences built at Black Point in the 1850s. How it came to become the official residence of the highest-ranking U.S. Army officer in the west needs some background and explanation.*

### **Gold Rush Era**

On November 6, 1850, President Millard Fillmore issued an executive order reserving "For Public Purposes" several large tracts in and around the City of San Francisco. The wording of the executive order may seem oblique, but it merely repeated earlier Mexican land grant stipulations that the government might reclaim privately owned lands when needed for public works, or in modern terms, "eminent domain" projects. In Fillmore's proclamation the intent was to reserve the lands for military uses, and the reservations included such areas as the islands in the bay, the Presidio and the Marin Headlands. Among these parcels was an area at the tip of Point San Jose on the city's northern waterfront, described as the area encompassed by an arc with a radius of 800 yards from the tip of the point. The government's intent was to fortify the area as a back up to forts at the narrows of the harbor entrance.

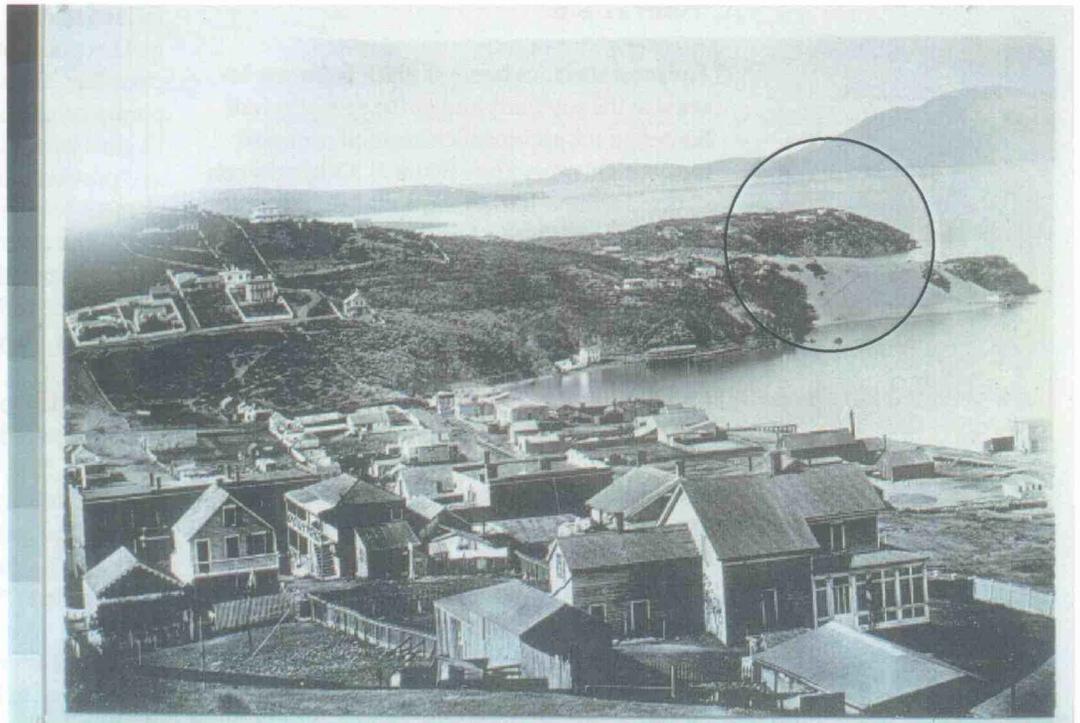
Declaring Point San Jose a military reservation was one matter, but keeping it from being settled by civilians was another. In the confused real estate market of Gold Rush-era San Francisco, squatters quickly moved on to the reservation and began erecting private residences – some of

them ignorant of the military's claim and many of them willfully hostile to it. The army repeatedly tried to evict the squatters by tearing down their fences and shelters, but the civilians always returned and actually filed suit against the government. Years later, General Irvin McDowell summarized the experiences of then-Captain Erasmus D. Keyes on one such expedition:

*Combinations of land-grabbers and land-jumpers so harassed this officer that he wrote in despair that he could not protect the government property, and in one of his letters reports: 'They have seized on Point San Jose and have it in complete possession.'*<sup>1</sup>

Before long, the City of San Francisco began levying taxes on the residences on Point San Jose (or Black Point as it was popularly known), thus giving legal credence to the "squatters' rights" claims of the occupants. By the middle 1850s, private residences both large and small dotted the point, many of them erected by well-to-do banking and mercantile figures in the young city. The finest of these houses were located along the sheltered eastern edge of the bluff and enjoyed spectacular views over the sheltered cove now known as Aquatic Park. By the eve of the Civil War, its prominent occupants included U.S. Army

Figure 1 - Black Point, circled, circa 1860. (Bancroft Library- Graves)



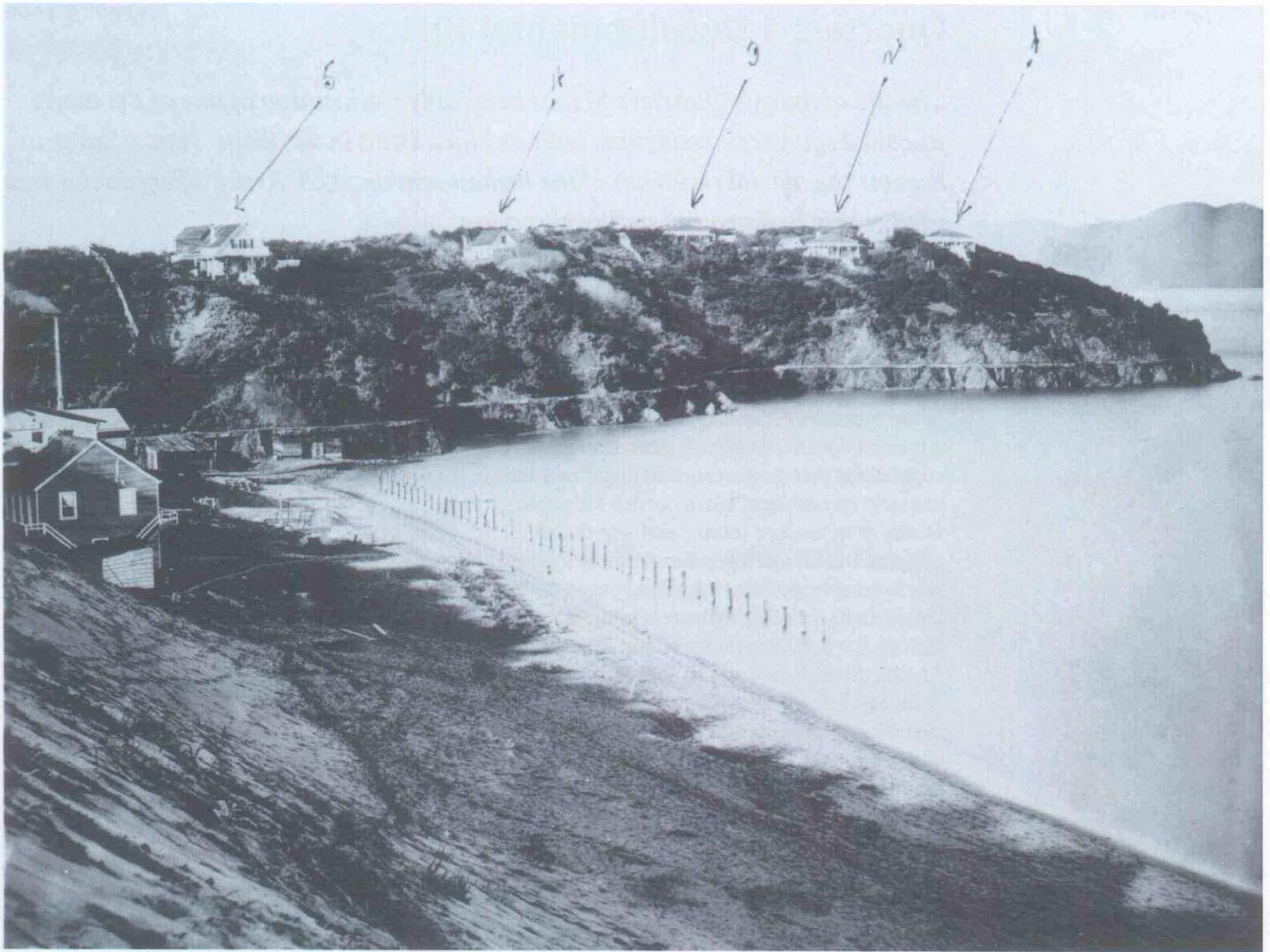


Figure 2 - Black Point in 1863 showing squatters residences. The earlier 1855 building, which was demolished in 1877 to make way for the current Quarters 1, is identified as building #5. (PARC-GOGA 78-c-55)

explorer and frontier man John C. Fremont and his wife, Jessie Benton Fremont, who often entertained notable figures of the era at their cottage at the north end of the point known as "Porter's Lodge."

The most spacious home at Black Point was located at the southerly end of the row of private homes on the approximate location occupied today by Quarters 1 (see figure 2). Originally constructed around 1855, it was a rambling structure, with Stick and Queen Anne style decorative elements, with a gable-roofed 1½ story tall central portion and several single-story additions. James Brooks, the editor of the newspaper *Golden Era*, built the house and lived in it for a time. He later sold the house to the banking firm of Haskell and Company, who in turn sold it to Mr. Charles Cook of Palmer, Cook and Company, another banking firm. Its last owner was Mr. Emil Grisar, a wool merchant, who bought the house near the start of the Civil War. Photographs of Black Point taken in the early 1860s show the Grisar house to be a large, gable ended house with a porch along its east facade overlooking the bay, with small wings on its north and south sides,

and an ungainly wooden addition on its west side and away from the view. (See figures 1 & 2)

#### Civil War Era

In 1863 the U.S. Army decided that Black Point had become critical to the defense of San Francisco Bay. The army had long envisioned a temporary battery at Point San Jose, situated so that its guns would intersect with cannon on Alcatraz and provide a crossfire covering the southern channel between the island and the city waterfront. The realities of Civil War now made this battery imperative, and the civilian residents of Black Point and their bucolic lifestyles would have to give way.

At 6 a.m. on October 3, 1863, General George Wright received a telegram from the War Department. "The Secretary of War directs that you take military possession of Point San Jose," it said, "and erect the battery proposed for its defense. The question of ownership will be determined later."<sup>22</sup>

A few days later a company of the 9th Infantry was ordered to Point San Jose to take and hold

military possession of such land as necessary for the erection of batteries. Almost immediately complaints were heard from occupants. The first was that the soldiers had destroyed some shrubbery.

Shrubbery removal was not the least of the Army efforts, however. The private houses were commandeered for officers' residence and those in the way of the engineers' plans were removed or leveled. The Fremont's "Porters Lodge" was razed, touching off a series of legal disputes that went as far as the United States Supreme Court.

Mr. Grisar was left in relative peace for a while and seems to have retained his ownership during the initial flurry of army occupation, possibly because the Big House (as it was dubbed) lay at the opposite end of the post from the gun emplacements and out of the way of military construction. By contrast, the Fremont house sat directly on the site of the gun battery and was demolished almost immediately.

In 1864 Grisar leased the Big House to Dr. Ten Broeck, who was identified as a "Surgeon, U.S. Army Medical Purveyor" and was likely assigned to the new army post. He only lived in the house for a year, though, before both he and Grisar were evicted and the house transformed into a military residence.

On August 30, 1865, Major General Henry Halleck arrived in San Francisco and assumed

command of the army's newly formed Military Division of the Pacific. Halleck maintained offices in downtown San Francisco, but he balked at the idea of establishing his official residence the Presidio, which would have been appropriate since it was the principal army post in California. Instead, to save himself the long daily wagon ride over the dunes to his downtown office, Halleck decided to make his home at Point San Jose. On September 15, the army seized Emil Grisar's house and an adjacent residence for the use of Halleck and his aides, and its residents (including Dr. Broeck) were evicted. Extensive repairs and additions were quickly carried out and General Halleck took up residence in November.

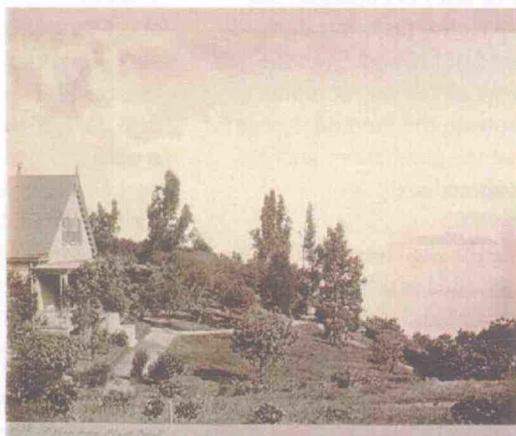
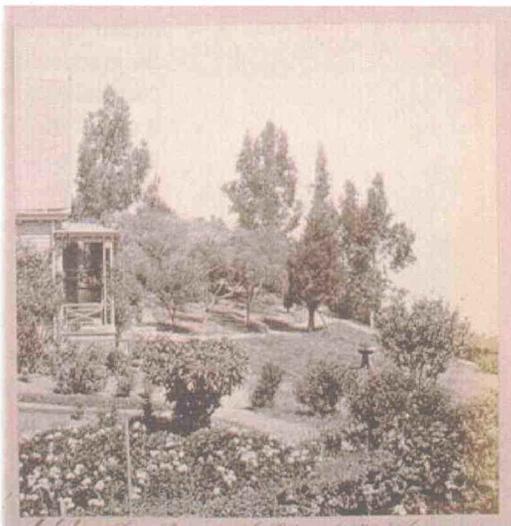
The building continued to serve as the commanding general's residence until 1877. It was occupied in succession by Halleck, Maj. Gen. George H. Thomas, Maj. Gen. John M. Schofield, Brig. Gen. E.R.S. Canby, and Maj. Gen. Irvin McDowell. In his unpublished history of Fort Mason, historian Erwin Thompson described life at the new fort shortly after the Civil War when the general first took up residence:

*The enlisted men assigned to the post must have found the general's presence trying. His residence was a hub of San Francisco's social life. Visitors and parties were regular occurrences. The artillerymen fired salutes for dignitaries. Spic and span infantry sentinels stood guard at the carriage entrance. If the post was like some other headquarters posts, privates probably found themselves taking care of flowerbeds.<sup>3</sup>*

Figure 3 - This 1869 photo of the original Commanding General's house shows decorative elements such as, overhanging eaves with exposed rafter ends and the a carved wooden spire at the roof's ridge edge. (Bancroft Library)



Figure 4 - Series of Eadweard Muybridge photos showing the Commanding General's house at Black Point, 1869. Note the private pier in the lower right image, which was used by visiting dignitaries. (Bancroft Library)



A series of photograph taken about this time by the photographer Eadweard Muybridge show the Commanding General's house in some detail, surrounded by lush lawns, manicured gardens and verdant flowerbeds. In some of the views, a small pier and boathouse for the general's private use is visible at the foot of the bluffs just north of his residence. This pier served several functions: it provided a place where visiting naval dignitaries could land at the point when visiting the general; it functioned as a stopping place for government steamers plying the bay between the various army posts; and it served as a convenient stopping place for civilians arriving at Point San Jose who found travel by boat more convenient than taking a carriage over the city's unpaved streets. (See figures 3 & 4)

An entry in the 1871 *Outline Description of Military Posts* for Point San Jose painted a rather more dismal picture of the other officers' quarters at the fort:

*There are four buildings used as officers' quarters. They are all frame, weather boarded, with shingle roofs. Three are lathed and plastered, and in good condition; the other is lined with boards, leaks badly, and the timber is rotten and giving way in many places, so much so that*

*the building has settled nearly one foot on one side. All these buildings were erected by citizens before the Government took possession, and at a time when timber was both scarce and high in prices, so that the material of which they were constructed was of very inferior quality. The buildings that are now in good condition have been almost entirely reconstructed by the Government. The largest and best of these quarters are occupied by the Department Commander.<sup>4</sup>*

The exposed geography of Point San Jose seems to have caused problems for the officers and soldiers from the earliest days, and by 1876 records show that extensive fences and lattices were being erected around the post buildings and that troops were involved with seeding the reservation with lupine and barley in an effort to keep the blowing sand in check.<sup>5</sup> One the largest of these fences surrounded the general's house, providing privacy for its occupants as well as protection for the wind and grit.<sup>6</sup>

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*It would seem as if Nature determined to isolate this most beautiful spot (Black Point) by constantly shifting the sand surrounding the promontory, covering up roads in the course of a single night, compelling the inhabitants to wade through the deep sand-banks, formed, perhaps, in twelve hours time.*

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### **Indian Wars Era & New Construction**

In 1876, General Irvin McDowell, who had earlier commanded both the Department of the Pacific and the Department of California, returned to San Francisco to assume command of the Military Division of the Pacific. Like most of his predecessors, he set up residence in the former Grisar house at Point San Jose. At that time the grounds around his and the other officers' residences were considered a place of beauty by city residents, but the majority of the post was still untamed dunes and scrub. McDowell was determined to beautify Point San Jose, and also to create a grander residence for himself and subsequent commanders than the aging and oft-remodeled Grisar house. To meet this goal, he ordered the existing structure moved to the north and a more dignified residence built on its approximate location.<sup>7</sup>

Little has been discovered regarding the early planning and construction of the new general's residence, but a newspaper reporter visiting the site in summer 1877 gave a description of the general's efforts to tame the landscape and the new edifice he was erecting as his official residence:

*One of the prettiest and most romantic spots around the Bay of San Francisco is that neck of land called Black Point. ... It would seem as if Nature determined to isolate this most beautiful spot (Black Point) by constantly shifting the sand surrounding the promontory, covering up roads in the course of a single night, compelling the inhabitants to wade through the deep sand-banks, formed, perhaps, in twelve hours time. This constant making of new roads, and the probability of the sand infringing upon the land devoted to the purpose of the garrison itself, induced Major-General McDowell to make an examination as to how the shifting sands would be stayed and the barren desert converted into a pleasant lawn. ... As soon as the sand is completely conquered and the lupine has attained a reasonable hold, the area will be laid off as a Government park.*

*Among the buildings in the course of construction at the Point, is a fine structure for the Major-General commanding the Division of the Pacific, who will take up residence there, where he can entertain satisfactorily. Officers of foreign fleets can have their boats brought to the wharf at the foot of the Reservation, whence they ascend by a romantic winding path to the plateau where the house forms the center of a lovely picture. The roads from Van Ness and Larkin Street will give easy approach to the guests from the city proper.<sup>8</sup>*

The new structure was designed from the start as a place for entertaining dignitaries, and its

architecture and floor plan reflected the prestige due the highest-ranking army officer in the west. Designed in the then-popular Italianate style, the general's new house differed immediately from its predecessor not only in architecture but also in layout. Unlike the old Grisar house, which had been oriented to the east to maximize views over the bay, McDowell ordered the new residence built so that its primary façade faced west towards the post and the carriageway leading to the site.

The main portion of the new house was roughly rectangular in floor plan, with "public rooms" for entertaining and dining on the first floor and bedrooms for the family and their guests on the second. A short wing on the south façade housed the general's office and library, while a larger wing on the north side housed the kitchen, laundry and servants' quarters. (This latter wing was actually a holdover from the old Grisar house that had been incorporated into the new structure.)<sup>9</sup>

McDowell's new house was definitely meant to impress. Upon arriving at the main entrance, a visitor first encountered an expansive porte cochere over the front doorway and extending the width of the carriageway. When entering the house, visitors would first pass through a short vestibule and then enter the Reception Hall, a 23'x26' room with 14' ceilings and a large fireplace dominating the far wall. To the right, a grand staircase led to the sleeping quarters upstairs, and beneath the stairs a short hall led to the general's office. To the left, another doorway opened onto the formal dining room and a passage led to the servant's area and kitchen wing. Flanking the fireplace in the Reception Hall were two sets of 10' tall double doors that opened on to the slightly smaller Drawing Room, a space designed for more intimate entertaining and provided with its own fireplace. From the Drawing Room, a pair of sliding pocket doors opened onto the general's Conservatory, a glass-enclosed sun porch facing east and overlooking the bay and city waterfront. (See figures 6 & 7)

Based on early Quartermaster reports and repair requests found in the National Archives, it appears the interior design was a reflection of the mid-Victorian era, with polished wood floors and dark wood trim in the main downstairs rooms and painted floors and woodwork in the bedrooms and servants' areas. Walls were papered in most rooms, and the ceilings either painted or "calcimined." In keeping with the availability of California building materials, most of the construction was redwood.

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*The new Quarters 1/ Commanding General's residence was totally a product of 1877 construction, but with the incorporation of the old Grisar kitchen and servants' wing. The former Grisar house, reoriented to face north and greatly remodeled, survives today as Quarters 2 at Fort Mason.*

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Initially, the house appears to have been heated solely by fireplaces and lit with kerosene, since gas was not introduced for several years. Fresh water came from a pair of tanks located on the slight rise between Quarters 1 and Quarters 2, and sewage drained directly into the bay.<sup>10</sup>

At this point, a bit of Fort Mason mythology seems to have evolved. As mentioned previously, in the course of constructing the general's Italianate residence the old Grisar House was moved from its former location and relocated approximately 250 feet to the north. It was eventually remodeled to serve as the residence of the commanding officer of Point San Jose. During the construction of the new general's house, the Grisar kitchen and servants wing were retained on site, moved slightly and set on new foundations to serve the same function for the new house.

However, nearly as soon as the new general's residence was completed, the story evolved that it sat directly atop the foundations of the former Grisar house. By some accounts, the house was just a remodeling of the 1850s residence. On-site investigations and comparisons of historic maps, though, indicate the Grisar structure was actually located slightly northeast of today's Quarters 1, and there is no indication that any of its foundations were incorporated into the 1877 building. The new Quarters 1/Commanding General's residence was totally a product of 1877 construction, but with the incorporation of the old Grisar kitchen and servants' wing. The former Grisar house, reoriented to face north and greatly remodeled, survives today as Quarters 2 at Fort Mason.

In 1879, Captain Joseph Campbell, who was post commander of Point San Jose at the time, provided the earliest detailed description of the Commanding General's house in his entry for that year's annual *Outline Descriptions of Military Posts*:

**Buildings.** *Quarters of the Division Commander – No. 1. These quarters were erected in 1877 and occupy nearly the site of the old quarters for the commanding officer. The main portion of this latter building [i.e., the Grisar house] was moved about 80 yards to the north and repaired into a set of quarters for the post commander. A wing (guests' chamber) and the kitchen were retained on the site and form part of the present Division Commander's quarters. The main part of the building which is new is 72' x 34' with a square projection on the northeast side 26' x 30'. This new part is two stories high. The guests' chamber (20' x 23') projects from the south-east end. The kitchen, laundry, etc., stands at the north-west corner. The foundation*

*of the main building is a stone wall with brick coping, giving a large cellar.*

*The old stables on the premises was moved about forty yards to the south-east of the present quarters; a small wing of the old house was moved to it and a carriage shed built on.<sup>11</sup>*

The captain's mention of a "guests' chamber" being retained from the old Grisar house is perplexing to modern researchers. The dimensions and location of the chamber clearly match the present Funston Room, but the dimensions of the Funston Room do not correspond with any of the rooms in the 1871 floor plan of the Grisar house, nor does an inspection of the Funston Room's construction indicate it was ever part of an earlier structure. By contrast, the kitchen and servants' wing matches nearly exactly the corresponding wing of the Grisar house. At the risk of casting aspersions on Captain Campbell's accuracy, it's possible that part of his 1879 report was inaccurate.

Later that same year, Gen. McDowell had an opportunity to show off his grand new residence during the visit of former President Ulysses S. Grant. As part of Grant's visit to San Francisco that summer, the Civil War hero was treated to whirlwind tour of the Bay Area and a seemingly endless series of receptions and dinners. On September 24<sup>th</sup> it was McDowell's turn, and the *Daily Alta California's* reporter gave a detailed description of the guests' arrival at Fort Mason and the ensuing reception:

#### **GENERAL McDOWELL'S RECEPTION IN HONOR OF THE EX-PRESIDENT.**

*After filling the other engagements which had been made for him by the City's Committee, General Grant and Mrs. Grant prepared for the afternoon reception at the charming residence of Major General Irvin McDowell at Black Point (or Point San Jose, as it is called on the maps.) The Government steamer McPherson lands at a wharf sheltered by the north projection of Black Point, and from this by an easy grade, the visitors reach the prettily contrived villa which has the charm of presenting an attractive front from any point of view, though the real front is on the west side, where the carriages drive under a porte cochere. A sloping lawn and winding paths, bordered with pretty trees, make the foreground for a striking picture, the background being filled by the spacious mansion, which on this occasion was enlarged by an improvised pavilion made of flags, completing the beauty of the picture by the brilliant colors of the American ensign. The pavilion was devoted to the collation, which is no unimportant part of a grand reception.*

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*“Major General and Mrs. McDowell request the pleasure of your company at Black Point, Saturday, September 11<sup>th</sup>, from 3 to 6 P.M. to meet the President and Mrs. Hayes”*

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*The road to Black Point is by Bay street, past the Pioneer Woolen Mills, but as the road is at present broken up by the street work now in progress, the approach is from the westward, along a road just constructed by General McDowell. To facilitate drivers in keeping the road, a mounted sentinel was stationed at each turn, to give directions. From half past two o'clock until four, the road was lined with carriages, driving to one of the most distinguished receptions ever given in this city.*

*In the grand hall, Gen. Grant received the guests, who were introduced by General McDowell; in the parlor the guests were presented to Mrs. Grant by Mrs. McDowell. The Fourth Artillery Band, stationed at the north end of the pavilion, played a march, “General Grant’s Welcome Home,” when the distinguished guest entered the grounds, and during the afternoon played an overture .....and waltzes by Strauss and Catlin. The Eighth Infantry band, at the south end of the grounds, played a grand march, a national potpourri, and an overture rendered by a string orchestra.*

*The reception lasted until six o'clock, General Grant returning a little before that hour to keep his engagements for the evening.<sup>12</sup>*

The combination of blowing winds and the social events at Quarters 1 must have been severe; the week following the Presidential reception the deputy Quartermaster for the Division of the Pacific sent a letter to Washington with an estimate for “material and labor required for repairs at that portion of the reservation adjacent to the post of Fort Point San Jose, Cal, occupied by the General Commanding.” His letter included the notation that although some of the funds were earmarked for sand fencing, “the remainder is needed to put the place in order and to preserve the wood work” of the nearly new house. The letter also specified colors that were to be used in the repairs: white lead, chrome yellow, chrome green, Prussian blue, drop black, yellow ochre, burnt umber and Paris white. (Unfortunately, there’s no mention of which colors were to be applied where.)<sup>13</sup>

The next year, the general’s house was decorated for yet another VIP reception when President Rutherford B. Hayes visited San Francisco, and General McDowell dutifully invited the President, Mrs. Hayes and General William T. Sherman to a luncheon at his Point San Jose residence. The presidential visit for the Hayes party was equally as elaborate as the previous year’s reception for U.S. Grant, and the *Daily Alta California* again recorded the event, this time giving additional details about Quarters 1.

The *Alta* story is quoted here at length because of the information it contains about the Quarters 1, how it was decorated, and how the structure and grounds functioned during a state event:

#### **HAYES AT BLACK POINT**

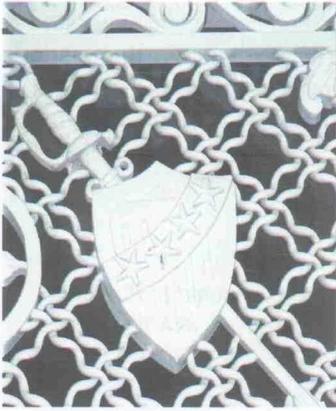
*The Brilliant Reception Tendered to President Hayes, by General McDowell, at Military Headquarters, Black Point – The President’s Trip Around the Bay*

*President Hayes was an early riser yesterday.... After breakfast, having been called for by General McDowell, they were driven to the Washington Street wharf, where the McPherson, Captain Andrews, was in waiting, and at nine o'clock they started for a trip around the Bay....*

*Having visited the different posts, the McPherson steamed down the Bay to Black Point, where the President became the guest of General and Mrs. McDowell. At 1 o'clock lunch was served in the dining room, none being present but the Presidential party, ex-Governor and Mrs. Low, Mme. Bareda, Major Keeler, and the commanding officers of the different posts, who had joined the party during the excursion. Lunch disposed of, a quiet hour was spent to recover from the fatigues of the forenoon and to prepare for the grand reception to be held in the afternoon.*

#### **THE RECEPTION**

*Was not only the most remarkable in point of numbers ever given in this city, but it was emphatically a representative gathering – statesmen, jurists, officers of the Army and Navy, the Consular Corps, the officers of the foreign ships of war, now in port, being present in force. The ladies who were present represented the beauty and wealth, not alone of this city, but of the entire State, and the toilettes worn were universally acknowledged to surpass anything previously seen in San Francisco. In response to the following invitation – “Major General and Mrs. McDowell request the pleasure of your company at Black Point, Saturday, September 11<sup>th</sup>, from 3 to 6 P.M. to meet the President and Mrs. Hayes” – guests began arriving at the Point at 3 o'clock, from which time until 5:30 there was a constant stream of arrivals, and during the afternoon not less than 1500 visitors called and were presented to Mr. and Mrs. Hayes. The guests came in launches from Vallejo, Alcatraz and Angel Island, and by the McPherson from down town, but the majority came in equippages by way of the Presidio, being met by mounted orderlies and escorted to the residence of General McDowell. The decorations were confined mainly to a.....*



Sword and shield in screen above doorway from Reception room to Conservatory. (John Martini)

### MAGNIFICENT DINING MARQUEE

Temporarily erected. Throughout the lower floor of the house were scattered numerous and handsome floral designs and bouquets. The marquee was placed on the portico, to the rear of the dining room, and was greatly admired for its beauty, and the good taste of General McDowell, under whose direction it was constructed. In length it was about sixty feet, and in width about twenty feet, the roof and ends being screened with enormous national flags. The rear was composed of shrubbery and plants, and the front throughout its entire length, opened on to the lawn. In the centre, running the whole length of the marquee, was a table, damask laid, embellished with the most brilliant of silver and crystal, decorated with flowers, and loaded with fruits, confectionaries, and more solid edibles. Over the centre of the table, to the rear, was a trophy of cavalry guidons, grouped with white and yellow roses, and from either end of the table arose a fern-covered mast, to the first of which was affixed a pair of silk flags, the national flag and the cavalry colors, and to the second, the national flag and infantry colors. Along the front of the table were entwined a number of smilax vines, and on the floor were rare Oriental mats and carpetings. The guests, upon their arrival, were received by Major Keeler, the General's Aide-de-Camp, who ushered them into.....

### THE RECEPTION ROOM

Where the President and Mrs. Hayes had taken a position in the alcove of a bay window. Mrs. McDowell stood upon the left of Mrs. Hayes, and the General stood opposite the President, presenting and introducing the ladies and gentlemen. After four o'clock the visitors, anxious for presentation, crowded in so fast that the party left the room and took up a position on the lawn. General Sherman and Secretary Ramsey, with Miss Rachel Sherman, stood on the other side of the reception room, and also greeted; General Sherman recognizing and greeting with his usual heartiness of manner, many old time associates. The reception continued until nearly six o'clock, the guests being invited into the marquee for refreshment previous to departure, and all retiring delighted with the cordial entertainment extended by Gen. and Mrs. McDowell. During the afternoon the 4<sup>th</sup> Artillery Band, stationed indoors, performed the following programme: [lengthy passage listing the musical numbers follows]. President Hayes and party returned to the city about 6:30.<sup>14</sup>

At an undetermined date during these early years, the maintenance responsibility for the general's residence was transferred from Point San Jose (or Fort Mason, as it was officially renamed in 1882) to the Presidio of San Francisco, and at this point it was redesignated from Quarters 1 to Bldg 58, Presidio of SF. The 1884 *Annual Report*

of Buildings at the Presidio gives a detailed inventory of the building's floors and rooms. Following is the section listing of the rooms believed to still remain in today's structure:

### Bldg #58 Quarters of Division Commander Fort Mason

#### Main building - 2 story "frame" with basement and brick coping

##### 1<sup>st</sup> floor:

Reception room	23'10" x 25'9"
Dining	19'9" x 31'10"
Hall	23'10" x 31"
	[Error; should read 3'11"]
Butler's pantry	6'6" x 13'
Hall	3' x 32'
Bathroom Etc	6' x 10'
Cloak Room	11'7" x 9'11"
Hall from reception room to Library	4' x 10'
1 Wing. Library 1 <sup>st</sup> story	19'3" x 20'6"
1 Wing. Parlor	18' x 23'10" surrounded by conservatory
[measuring]	9'6" x 29' - 1 side
	4'6" x 18' - 1 end

1½ story Wing 30'6" x 39' [Demolished in 1959; details omitted from this report]

##### Main Building 2<sup>nd</sup> floor

Chamber	14'10" x 15'8"
Sitting room	14'10" x 15'6"
Chamber	14'2" x 15'10"
"	15' x 15'2"
"	9'8" x 10'2"
"	9'8" x 10'2"
"	6'9" x 10'2"
Bathroom	6' x 6'8"
Dressing room	6' x 10"
3 halls	8'9"x4'9", 3' x 26', 4' x 36'

The entry for Bldg 58 concluded with two remarks regarding maintenance:

Repairs made during current fiscal year up to date of report: Repairing plumbing, altering doors, cleaning, oiling & painting floors and repairs to fencing around quarters.

Repairs necessary to place in condition: Repairing roof & tin gutters, introducing new system of plumbing throughout, repairs to fences enclosing same, and painting buildings entire[ly].<sup>15</sup>

#### Upgrades and First Remodeling

As a house ages, routine maintenance becomes critical and major repairs become more frequent. The elements at Fort Mason continued to take their toll on the general's house, because in



Figure 5 - Earliest known photograph of the new general's house, 1877. (HABS)

1885 a repair estimate was prepared for miscellaneous improvements included the ominous notation "Requires new roof and painting same", and specified a lengthy list of materials for the job. These included 54,000 shingles; 2,000 feet roofing tin; 40 lbs solder; 200 lbs nails; 400 lbs "Prince's Metallic;" and fifty gallons of boiled oil. Total cost including labor was \$520. Also included were items for extending fencing around the house, "putting up bath tubs etc," and unspecified concrete work for a cost of \$299.95.<sup>16</sup>

The work must have been delayed, though, because in 1886 the request for a new roof was again submitted together with a notation that the building now required interior painting.<sup>17</sup>

Regardless of ongoing maintenance needs, the general's house was still considered one of the most scenic locations in San Francisco. Duty at Fort Mason was good, and in his autobiography General O.O. Howard described his impressions of the house while commanding the Military Division of the Pacific from 1886 to 1888:

*I took my family to reside in a charming spot*

*about halfway between the Presidio and the Oakland landing in San Francisco. There was here a large residence which General McDowell had remodeled, the very place where Mrs. Howard and I had been entertained by the McDowells some years before.... The grounds of our main house were very charming – the trees of the southern and tropical growth, the hedges all around of geraniums, larger than I had ever seen before, and seventy-five varieties of roses beautified a square. After passing through a high gateway, and by the watchful sentinel, we were within a veritable paradise.<sup>18</sup>*

The earliest known photograph of the new general's house was taken around the time of Howard's occupancy. It shows the sentry mentioned by the general standing outside the carriage way leading to the front entrance, while a carriage and liveried driver wait just outside the gate. What's impressive about the scene is how little the front of the building has changed since the photo was taken. Aside from new gateposts and substantial tree growth, the residence looks virtually unchanged today. (See figure 5 and the front cover photograph)<sup>19</sup>

Another photograph taken around the same time shows the east façade of the house – a view that would change dramatically over the next 120 years. In this photo the original exterior of this side of the building is still evident, unchanged by later dining room additions and window redesigns. Especially prominent are the ivy covered conservatory wing and the original second-floor window arrangements. In the distance, a tiny bandstand sits atop a gentle knoll separating the general's house from Quarters 2 (see figure 6).

Based on the old records, there appears to have been something of a push-and-shove between the Presidio and Fort Mason over which post was responsible for maintaining the general's home. In early 1887 the duty was bounced back to Fort Mason. In his *Report of Inspection of Public Buildings*, the Fort Mason quartermaster noted "This building was transferred to me on February 2<sup>nd</sup> 1887. Prior to that date, all repairs had been made by the Department Quartermaster at the Presidio." (You can almost hear the frustration in the quartermaster's handwriting.) He promptly designated the main house "Building No. A" and its stable "Building No. B", probably to differentiate them from the regular number system of other structures at the fort.<sup>20</sup>

By 1887 the building was beginning to show its age. It was ten years old and had experienced several tenants, as well as enduring the continued exposure to sun, rain, fog and blowing sand that take their toll on all buildings. It was time for

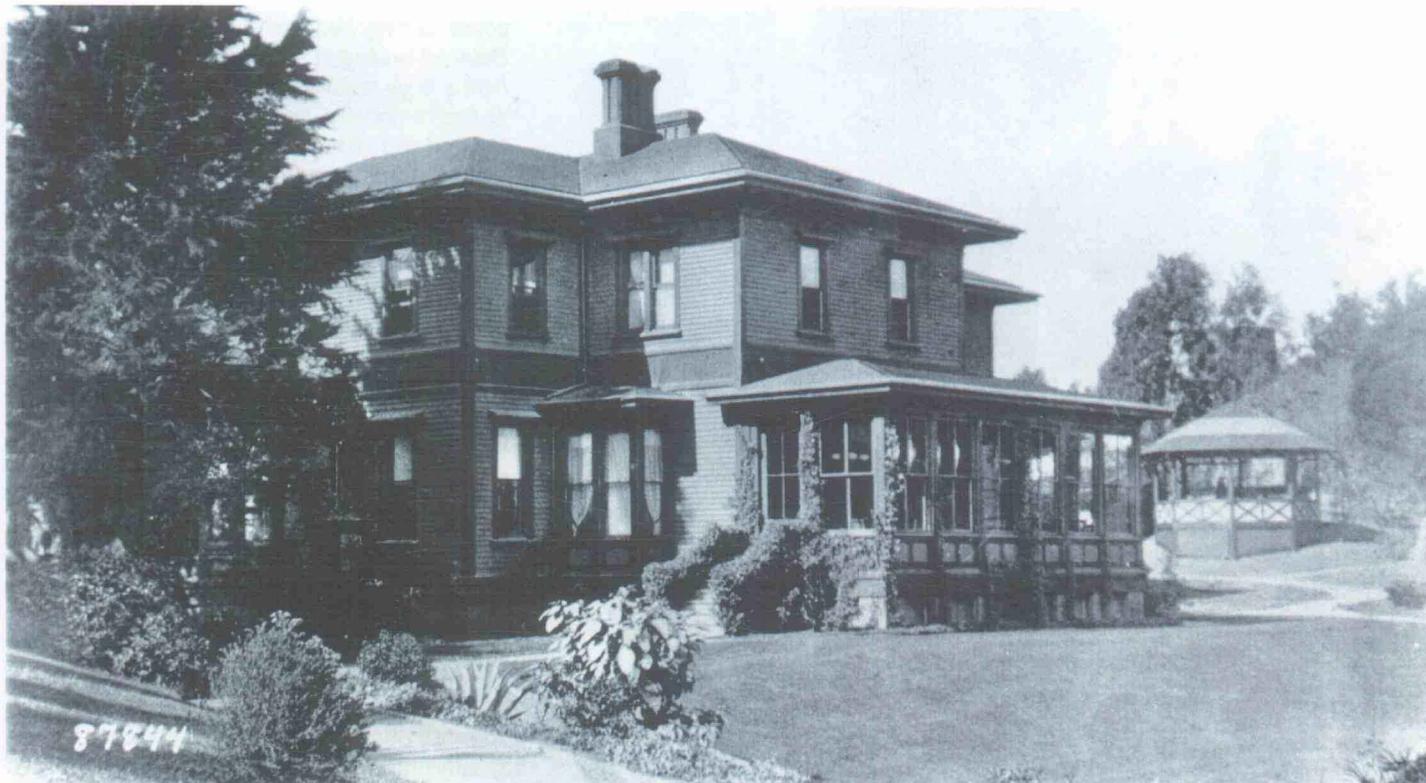


Figure 6 - Quarters 1, circa 1885. The east elevation of this building has experienced much change. Note that in 1885 there was a bay window at the first floor and the Conservatory was rectangular shaped with a wall of glazing. (77-C-293)

Quarters 1's first complete renovation.

To spruce up the appearance of the residence the Fort Mason Quartermaster, Lt. Frank Price, prepared a detailed contract for repainting the main house and outbuildings. For the main structure's exterior he specified white lead, burnt umber, yellow ochre, turpentine, linseed oil, putty, and fireproof metallic paint. The estimate also called for "Calcimining, papering and painting

interior of building", for which Price specified whitening, wallpaper, assorted colors, white zinc and color, turpentine, linseed oil and putty. The interior would also be upgraded with repairs to bathroom plumbing and various windows and doors.<sup>21</sup>

In his next annual *Report of Inspection* Lt. Price reported that the painting and repair work had been completed, and that the walls and floors of several interior rooms had also been painted.

Figure 7 - Quarters 1, 1893. By 1893, modifications and improvements had occurred to the building, including the construction of projecting bay windows, probably at the general's 2nd floor bedroom. (RG92)

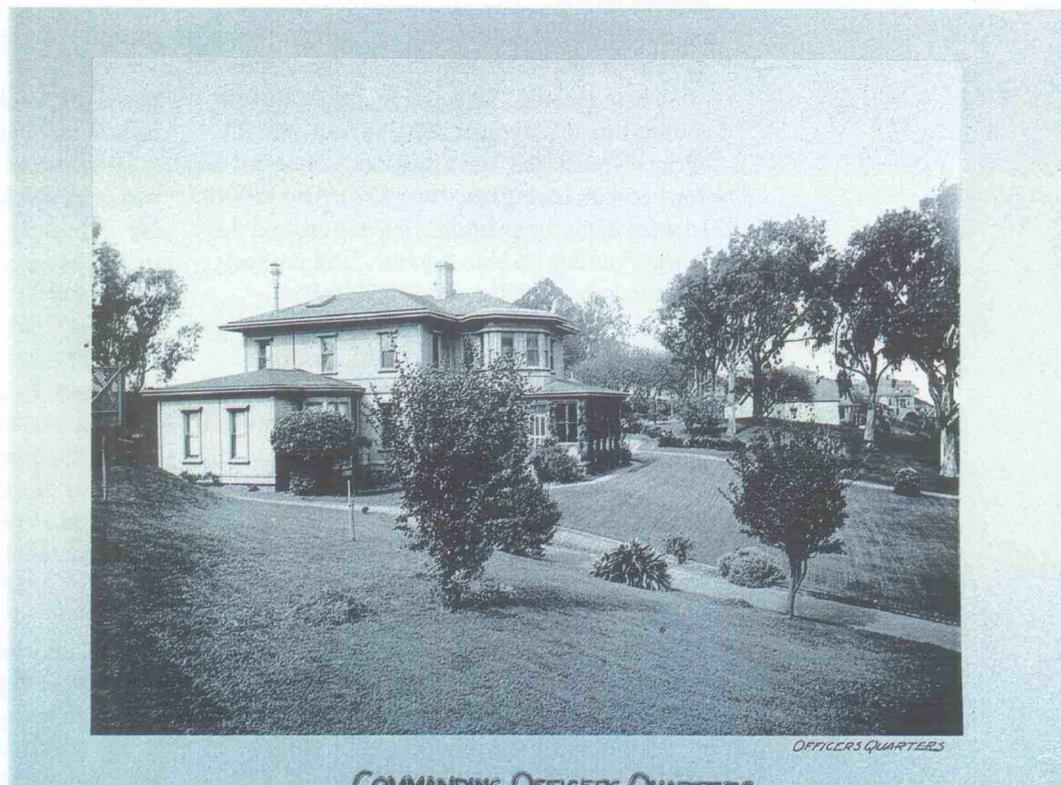


Figure 8 - General view of post, 1893. Today's Franklin Street is at center. The tall board-and-lattice fence and omnipresent sentry mark the location of the Commanding General's house.



More work was needed, though. He recommended that the roof be painted with “fire proof metallic paint” to prevent the shingles from drying out and shrinking during the long dry season and causing leaks. He also stated that “Several rooms require papering and kalsomining” and that “some little repairing will be required to chimneys and ventilators and incidental repairs to will be required to doors, windows, bath rooms and water connections, etc.” for a total estimated cost of \$600. (The re-designation of the general’s house as “Bldg A” must have caused confusion, because in this report the quartermaster reverted to identifying the structure as “Bldg 58”)<sup>22</sup>

Dutifully, Price prepared another request in 1888 to carry out the remaining interior painting, papering and plumbing work. This work estimate also contained requests to repair “Chimneys, flues and foundations” and carry out repairs to “floors, roofs, stairways, etc.”<sup>23</sup>

In 1893 the Quartermaster Department prepared photographic surveys of army buildings in the San Francisco area, and two views were made of the Commanding General’s house and grounds at Fort Mason. The first view (figure 7) shows the east side of the building from a perspective similar to the view taken circa 1885. In this view, though, a large bay window has appeared at the corner of the bedroom directly over the parlor, which, given its location in the house, was likely the general’s bedroom. The other view (see fig-

ure 8) shows the main entrance road to the post and the large fence enclosing the general’s garden on the east side of the house. Although this photo does not show the residence itself, it provides quite a bit of detail on the plank-and-lattice fence that surrounded the general’s home along with glimpses of the well-established and well-tended vegetation growing inside the fence.<sup>24</sup>

#### Spanish-American War Era and Second Remodeling

Brigadier General William Shafter became commander of the Division of the Pacific in early 1897 and quickly became frustrated with the general’s residence. It was now twenty years old and its interior had not been modernized since initial construction. In May, Shafter had his staff prepare a punch-list of improvements he wanted made. The list provides numerous insights into how the interior of the house appeared at the time, including items such as:

- Paper dining room and clean and polish wood work and floors
- Kitchen and laundry entirely done over; walls and wood work painted
- Paper walls and ceilings of “hall”; clean wood work and wax floors
- Thoroughly overhaul all plumbing and install two new bath tubs
- Thoroughly repair furnace
- New sinks in pantry and kitchen
- Range put in order. New one if necessary.
- Shades at all windows

- Electric bells and annunciator put in order
- Paper five bedrooms upstairs with “good paper”, and paint all woodwork
- Gas fixtures taken down and cleaned and put in good order

There were also several elements specifically aimed at remodeling the general’s first floor of office:

- Paper and carpet office
- Repair and clean office desk and bookcases.
- Purchase office chairs and lounge for same
- Repair and clean telephone room. Repaper and clean parlor; wax floor
- Install water closet in office hall<sup>25</sup>

General Shafter got his way, and two weeks later a bid was prepared by E.J. Lawton of San Francisco, a “Practical Plumber, Steam and Hot Water Fitter”, who was willing to tackle part of the project. He prepared a bid and specifications for refurbishing all the gas fixtures in the house (“numbering about sixty”) and for remodeling/replacing most of the toilets, sinks and tubs in the residence. His total bid came to \$679.<sup>26</sup>

Simultaneously, the Quartermaster for the Department of California prepared a more expansive estimate that included not only the gas and plumbing work but all the general’s remaining wish-list items. He also stated his estimate “contemplates the use of enlisted labor as far as practicable” to keep costs down. His estimate came

to \$2103.46. Interestingly, the quartermaster also reported in the narrative for his estimate that “The quarters have not been occupied for about six years and considerable work is necessary...” (If accurate, this reference could indicate that not all Commanding Generals elected to live in the Fort Mason residence.)<sup>27</sup>

This estimate represented a major expenditure of government funds, and correspondence went back and forth between the War Department and the Department of California discussing whether or not specific items should be approved. On June 11, a peeved General Shafter sent a telegram to the Adjutant General of the Army in Washington asking, “What action has been taken on estimates for repairs.... Anxious to begin work as soon as practicable. If funds are not available this year cannot allotment be made for funds of next?”<sup>28</sup> Five days later, the army’s Quartermaster General responded that all work items had been approved except for furniture for the general’s office and another toilet on the second floor.<sup>29</sup>

Work must have begun shortly afterward, but another surprise was encountered: the underpinnings of the building were sadly lacking and a new stone foundation would be needed. The Presidio Quartermaster described the situation:

*The stone foundation of the building for a length of about 100 feet is only about 4 feet in depth, and rests on underpinning of earth in the form of a bench about 4 feet high, above the*

Figure 10 - Fort Mason, circa 1900. Note Quarters 1 in the center of the photo with the tennis court and stables in the foreground. The Fontana building at right was leased for many years by the army as additional warehouse space for the San Francisco Port of Embarkation. (GOGA 18480.130)

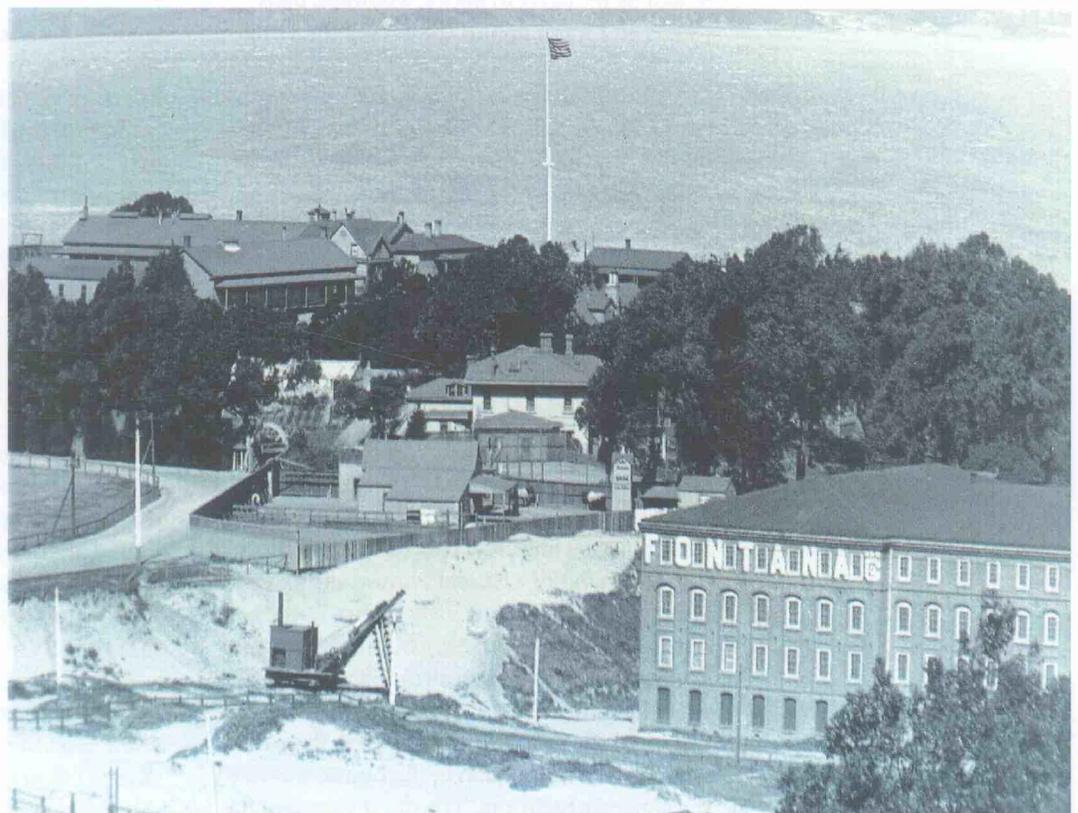
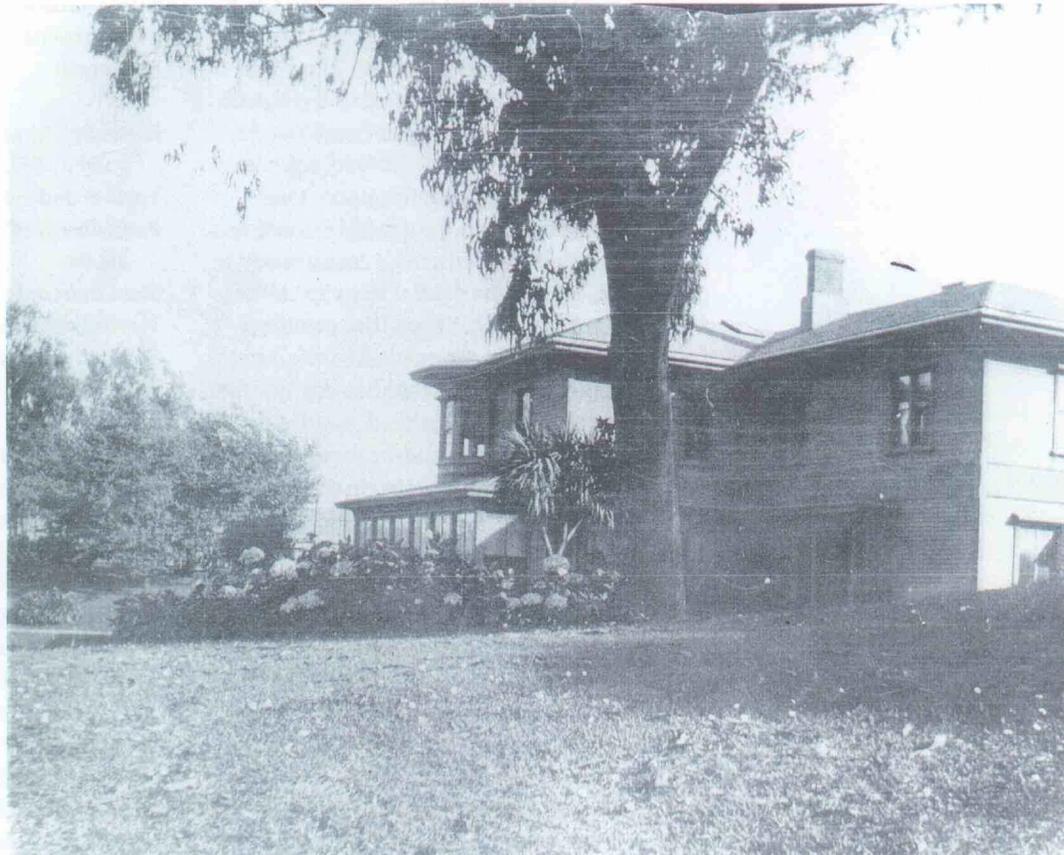


Figure 9 - Quarters 1 from the north, circa 1900. (GOGA 2316)



*basement floor. This bench was left projecting out about two feet from the face of the wall and was apparently surfaced over at one time with a layer of concrete, to prevent caving of the earth. This concrete has now fallen entirely away and the earth at some points has caved to the edge of the wall. The only remedy to prevent, in time, the undermining of the building, is to construct a retaining wall to hold this earth underpinning, and the foundation wall resting thereon.*

About 40 cubic yards of stone would be needed to construct the new retaining walls. That was the bad news. The good news was that stone could be acquired at 75¢ a yard at the government quarry on Angel Island and transported free using convict labor from Alcatraz. The local quartermaster could pay for the stone from his own budget, but he needed \$30 to rent a scow to haul the stone across the bay. The amount was quickly approved.<sup>30</sup>

Later that month, the push-pull over which command was responsible for the residence again erupted, when General Shafter personally directed that the commanding general's house and its outbuildings "should be considered as attached to the Presidio for repairs placed under the charge of the QM & such labor required as can be performed the EM [enlisted men] should be supplied from the extra duty force at that post." This formality likely cleared the way for enlisted men from the Presidio to be put to work on the

general's house at Fort Mason.<sup>31</sup>

All elements of the work as approved were completed by the fall of 1897, including the new retaining wall in the basement. In addition to the previously specified elements, the building also received a new roof and exterior paint job. "Pecos Bill" Shafter could now enjoy his remodeled residence at what the public still referred to as Black Point.<sup>32</sup>

#### **1906 Earthquake Era**

Convict laborers from the military prison on Alcatraz were frequently employed at Fort Mason for a variety of work duties. These included road maintenance, landscaping, painting and other unskilled activities. Usually the men assigned to Fort Mason work details were screened to prevent potential escapees from getting access to the mainland. In April 1903, the *San Francisco Chronicle* trumpeted an unsuccessful escape attempt from just such a work party at the commanding general's house under the headline: "Gag the Sentry and Make Their Escape - Daring and Successful Break from Liberty by the Prisoners at Fort Mason."

Four general prisoners from Alcatraz had been assigned to cleaning the walls in the general's basement, probably in preparation for repainting. After working for an hour under the supervision of a sentry, one of the convicts struck the guard on the cheek, wrestled the gun from him

and removed its bolt. The four men then stuck a towel in the guard's mouth and viciously beat and kicked him until unconscious. They then crawled out a coal scuttle leading to the outside where they hoped to make their break out the main gate leading to the city. Instead, a gardener saw them running and gave the alarm. One prisoner went back into the general's house and up to the second floor where he encountered a painter. He begged the painter to swap clothes with him so he could get away. The painter refused and the convict dropped out a window, only to be met by an armed soldier. All four men were recaptured, and the injured guard was taken to the hospital. The would-be escapees each earned an additional 18 months on the Rock.<sup>33</sup>

Throughout the first years of the new century, routine maintenance continued to be submitted for Quarters 1. Many of these were for repeated paintings, which can be explained by the construction of a nearby coal gas plant erected by Pacific Gas & Electricity just outside the western border of Fort Mason. This factory, which produced natural gas by reducing coal, unleashed gaseous clouds that blew east over the post and repeatedly spoiled the general's paint job. Together with the smoke from a nearby power plant, Fort Mason was frequently inundated with toxic emissions and "smoke hung above and in the post like a blanket and deposits of soot and tar fell everywhere."<sup>34</sup>

A 1905 work order noted that both an exterior paint job and an interior painting were needed. "So many coats of paint have evidently been laid on doors, base-boards, window-frames, etc., that it is falling off in scales, leaving the original surface of the wood exposed in hundreds of spots as large as a finger nail while the rest of the surface is still painted. The interior wood-work of this building, especially upstairs, is more in need of paint than that of any other officer's quarters on this reservation and is more unsightly." Also, it was an excellent opportunity for the army to carry out these repairs: "This matter is mentioned here to show the necessity of painting the Commanding General's quarters during the next fiscal year at any rate. The interior of the building is sadly in need of being painted at once and this is a most favorable opportunity for doing it during the temporary absence of Gen'l [Arthur] MacArthur in China."<sup>35</sup> Approval was granted the following month and \$308.25 allocated to repaint the house.<sup>36</sup>

More repairs and repainting were needed the following winter and the Fort Mason quartermaster prepared another request for funding. The list of work items he attached provides some

clues to the original interior appearance of the public rooms on the first floor of the general's residence:

*Beeswax floors parlor, reception room and conservatory - \$43.00*  
*Varnish door-sills in parlor and reception - \$14.50*  
*Paint floor and varnish woodwork in pantry - \$18.00*  
*Stain staircase and varnish balustrade - \$10.00*  
*Varnish vestibule - \$7.50*  
*Paint exterior and roof - \$305.00*  
*Total cost - \$401.00*

The Quartermaster's request was approved only three days later, and was actually increased by \$100 to carry out unspecified other repairs. The request was made to prepare the house for its next occupant, Maj. General Adolphus Greeley, the newest commander of the Pacific Division of the western states. One endorsement to the request bears the notation "no repairs were made during the past year, and the house has been empty..." presumably during the absence of Gen. MacArthur while he was in China. Interestingly, Brig. Gen. Frederick Funston, a future resident of Quarters 1, granted approval for the funding. At the time Funston was commander general for the Department of California, a sub-command of the Division.<sup>37</sup>

Only two months later, the great San Francisco earthquake and fire of April 18, 1906 would bring both General Funston and the Fort Mason residence into the national spotlight.

When the first major shocks hit at 5:13 AM on the morning of April 18, they awakened Brig. Gen. Frederick Funston at his residence at 1310 Washington St., near Jones. As noted above, Funston was commanding general for the Department of the Pacific at the time. However, division commander Maj. Gen. Greeley was out of town on a trip to Chicago to attend his daughter's wedding, and had left Funston as his designated replacement. Thus, at the time of the earthquake, Funston was the Army's senior officer in the west, serving as both Commanding General of the Department of California and also as Acting Commanding General of the Pacific Division.

Realizing the immensity of shock, Funston dressed hurriedly and headed downtown to the offices of the Department and the Division, both of which were in commercial buildings. While en route he could see columns of smoke rising from fires all over the downtown and South of Market. Realizing the city's police force would be inadequate in the scope of such a massive disaster, he decided to offer military help. Stopping

Figures 11 & 12 - General Funston in front of Quarters 1 following the 1906 earthquake; April 19, 1906. (SFPL)



a policeman, Funston learned the phones were out and sent the policeman to the Hall of Justice to advise civilian authorities and the mayor that federal troops were at their disposal.

Funston then ran to the Quartermaster stables on Pine between Leavenworth and Hyde, and sent a rider on horseback carrying a note to the commanding officer at the Presidio to send troops. The rider also stopped at Fort Mason en route and verbally advise the CO there of the same orders.<sup>38</sup> Additional troops were quickly brought in from Alcatraz Island, Fort Baker, and Angel Island, and telegraphic orders were sent to the commander of Vancouver Barracks in Washington State to proceed to San Francisco with the entire garrison of that post.

Realizing that the Department and Division offices could not be saved from the encroaching fires, Funston decided to move those administrative functions to a safer location. Funston later explained his decision to move to Fort Mason in his official report on his actions following the earthquake:

*On the evening of this day [April 18] I considered it advisable to establish at some convenient point both Division and Department Headquarters. It was therefore decided to utilize the only Government building in the vicinity of the fire available for such purpose, this being the quarters of the permanent Division Commander at the post of Fort Mason, where I established my headquarters, using both the Division and Department staffs, without, for the time being, making any attempts to segregate the duties belonging to each.<sup>39</sup>*

The scene at Fort Mason must have been much more chaotic than Funston's dry report makes it sound. Photographs taken on April 19 show the general holding hurried, informal conferences on the lawn in front of Quarters 1 while soldiers and civilians wait anxiously nearby. Other photographs take that same day record a flood of refugees establishing temporary tent camps along the roads and grounds near the Division Commander's home.<sup>40</sup>



Fort Mason itself was not out of harm's way, though, and was soon threatened by the advancing fires. Late on April 19 the U.S. Navy's Pacific Squadron arrived and offered to send sailors ashore to help with the firefighting and relief activities being carried out by army troops. Funston requested they be landed at Fort Mason and immediately put a detail to work helping defend the post from flames. By the morning of the 20<sup>th</sup> a threatening branch of the fire had worked its way along the slopes of Russian Hill above Broadway and was headed towards Fort Mason. Again, an excerpt from Funston's report:

*All day on the 20<sup>th</sup> an heroic fight was made by soldiers, sailors, firemen and citizens to stop this fire, which had a frontage of about half a mile, and was working its way against the wind. A number of buildings were destroyed here by high explosives and back firing was resorted to. The fight at this place was greatly aided by water taken from the Bay at Fort Mason. For a time grave fears were felt for the safety of the post itself and I directed that fences and a number of outbuildings be torn down and that men be stationed on the roofs of buildings. The flames, however, did not reach Fort Mason, and by the most tremendous exertions were prevented from crossing Van Ness Avenue between that post and the point where it had once crossed and been fought out.<sup>41</sup>*

One of the major administrative duties carried out by Funston at the Division Commander's home was coordinating the firefighting and relief activities between the various military and civilian agencies arriving on scene, and hurried organization meetings were held there. He explains in his report:

*In order to avoid further confusion and possible conflict of authority on this score, a conference was held between Mayor Schmitz, Brigadier General Koster, commanding the National Guard of California, Chief of Police Dinan and myself on the 21<sup>st</sup> at Fort Mason, in which it was agreed that the city, for the time being, would be divided into districts, one each under control of the Federal troops, including naval contingent, the National Guard and the municipal*

police.<sup>42</sup>

Maj. Gen. Adolphus Greeley returned to San Francisco on April 22 and reassumed command of the Pacific Division from Funston, but Greeley continued to maintain the command post in his residence at Fort Mason for several more days. The interior of Quarters 1 must have been terribly overcrowded, though, for on April 27 Funston announced that the army emergency headquarters would be moved from Fort Mason to the Presidio as speedily as possible. "The offices at Ft. Mason have been found inadequate to accommodate the amount of business conveyed to the Army by the late disaster." General Greeley's new Pacific Division headquarters would be located in "the first cantonment" at the Presidio, while Funston's Department of the Pacific would be at Tennessee Hollow.<sup>43</sup>

(Sixty years after the disaster, Mr. Milton Danziger of San Francisco visited the Fort Mason Officers Club as a guest of the San Francisco Port of Embarkation and identified the library / office on the first floor as the command post of the relief operation. Danziger, 12 years old at the time of the earthquake, had been taken to the room in 1906 by his father who had some business to transact with the army command. Based on this recollection, the U.S. Army and the California Historical Society installed a commemorative plaque identifying the former library as the earthquake and fire command post. This room was subsequently renamed The Funston Room.)<sup>44</sup>

The general's residence at Fort Mason seems to have survived the quake surprisingly well, and

the only mention of damage is a passing reference in a quartermaster report to unspecified repairs to the chimney, roof, and plaster required at the Commanding General's Quarters.<sup>45</sup> The interior of the house, though, must have been severely abused by the comings and goings of hundreds of people, most of who failed to scrape their boots and treat the general's house with proper respect, and in June an emergency request for \$100 was submitted for overhauling doors, locks, windows and thresholds. Damage must have been fairly widespread, since it was endorsed with the supporting comment, "In view of urgency of this case it is recommended that \$100.00, or so much as may be necessary, be allowed for this purpose and that the work be done immediately without formality of advertising for bids." Reading between the lines, it seems that Gen. Greeley wanted his house put back in proper order – and fast.<sup>46</sup>

Army correspondence indicates that repairs to the general's residence were completed in stages. In December 1906 another request was submitted, this time for \$120, "to repair the reception room and halls Division Commanders residence badly needed." Five months later, the Departmental quartermaster submitted yet another repair authorization for the structure, this time for \$500 to repair and refinish floors and walls. Both were quickly approved.<sup>47</sup>

By late 1908 the general's house was again deemed ready for a thorough remodeling. It had been more than ten years since upgrades had taken place, and before the depredations of the post-earthquake command post activities. On September 11 the Commanding Officer of Fort

Figure 13 - Quarters 1, circa 1907. This image from an old postcard shows the sentry box at the left, the cannons flanking the entrance, and the arched entryway, guarded by a soldier. (John Martini collection)



Mason, 1<sup>st</sup> Lt. R.T. Ward, forwarded a report to the Department of California's Chief Quartermaster containing an estimate of repairs "required to place the Quarters of the Department [sic; should be Division] Commander in first class condition." He included several observations about the condition of the residence:

*The hardwood floors are much scratched, several of the scratches being deep and long, necessitating either the substitution of new material, or scraping, sandpapering, and waxing.*

*The painting upstairs has been done over polished wood without removing the polish, and is badly chipped off in many places.*

*The roofs are in bad condition, and require to be entirely renewed. The gutters are badly rusted, and are eaten thru in a number of places. The downspouting is rotten by rust.*

*The basement is sadly in need of a thorough whitewashing, and a number of the sash have given way, allowing the vines to enter through the breaks.*

*The whole exterior of the building should be repainted after the other work is done. The flooring in the area should be renewed.<sup>48</sup>*

A list of proposed work elements and costs was attached, ranging from plastering to re-roofing to painting, and totaling \$2,673.00. This amount greatly exceeded what was available through the normal Departmental allocation for annual repairs to public buildings, so higher approval was sought. Eventually a revised total of \$1,091 was arrived at, and was funded from a combination of Departmental and Army allocations. Unfortunately, the records do not indicate which proposed work elements were revised or eliminated to reach this lower figure, nor do they record the repairs actually accomplished.<sup>49</sup>

One of the responsibilities of the Chief Quartermaster of the Department of California was to carry out periodic inspections of buildings under his control, and in 1909 he visited the Commanding General's quarters at Fort Mason. Less concerned with décor than health and safety, he focused his comments on heating and drainage:

*The Commanding General's quarters are heated with a hot air furnace, which appears to be in good condition. Complaint has been made that it permits smoke to penetrate into the rooms, which is probably chargeable to faulty methods of firing or heating and to the neglect of thoroughly overhauling the boiler after periods of disuse. Attention was called to the defects and suggestions given to remedy same.*

*The east end of the cellar is about eight feet below the ground surface outside, yet there is no provision for carrying off water which collects on the floor in winter. It is recommended that a three-inch tile drain be run from the sump hole in floor to the outside surface of the ground where there is ample drainage, and that the interior of the foundation walls be cement plastered to prevent ingress of water.<sup>50</sup>*

One of the remedies for the heating problems must have been the replacement of the hot air furnace, since later that year a new steam heating plant was installed in the building at a cost of \$1,250. Also in late 1909, the Quartermaster General listed numerous repairs and upgrades necessary to improve the general's quarters. These included the never-ending need to refinish hardwood floors in the downstairs rooms; patching and replastering where necessary; repapering the drawing room, reception hall, stairway and second floor hall; repairs to roof; and various repairs to the kitchen wing. (The estimated cost of \$775 seems to have been deferred until a more extensive repair program was carried out two years later.)<sup>51</sup>

During all these years, the Commanding General's house still retained the official designation of Quarters #58, Fort Mason. On December 11, 1909 the post's commanding officer report that the residence had a new designation, and that at the direction of the Commanding General of the Department of California the structure would henceforth be called Quarters #1, Fort Mason. Reasons for this re-designation are not stated, but likely it was to give the home a numerical status appropriate to the rank of its resident, the Commanding General.<sup>52</sup>

The repairs requested in 1909 were approved in late 1911, and the list had expanded to include a much larger scope of work:

*Paint exterior - 2 coats  
Paint shingle roof - 1 coat  
Paint entrance gate & fence - 2 coats  
Repair plaster of ceiling of a 2<sup>nd</sup> floor bedroom. Paper the new plaster and tint ceiling  
Replaster loose plaster, laundry, 1<sup>st</sup> floor. Paint.<sup>53</sup>*

On October 25, 1911 a contract was let with P.J. McGaffigan that would address these repairs as well as numerous other items:

*Convert coal bin in kitchen wing into servants' bathroom  
New dresser in kitchen  
Place one double-acting door and one single-acting in dining room  
Construct 2 new closets on 2<sup>nd</sup> floor and alter three*

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*Under this new command structure, the fort would increasingly become an administrative headquarters for shipping troops and supplies to the army's far-flung Pacific bases, a role which would evolve by the 1920s into the San Francisco Port of Embarkation (SFPE).*

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*others*  
*Paint all interior wood. Varnish all hardwood. Wax floors.*  
*Bronze radiators and piping*  
*Fix up mantles, fireplaces, electrified fixtures.*  
*Overhaul plumbing*  
*Repair leaks in gutters, valleys, decks, ridges, etc.*  
*Replace hardware and damaged woodwork and plaster*  
*Place fiberstone floors in bathrooms, laundry, pantry & kitchen*  
*Replaster kitchen and laundry.*  
*Stain roof shingles.*  
*Concrete cellar floor. Whitewash cellar. Make building rat proof.*  
*Place hardwood floor over all bed rooms in second floor and library.*  
*Place entire building in first class condition.*<sup>54</sup>

This was turning into another major upgrade to the house, and was to be funded by two allotments totaling \$4,500. However, the current resident of the house, Maj. Gen. Arthur Murray, also had some additional ideas about improvements to the structure and before the end of the year he had a memorandum submitted to the Construction Quartermaster at Fort Mason overseeing the project. Murray wanted a few changes:

*General Murray desires that in addition to the work already provided for, that you will have the conservatory changed so as to make the west side the same width as the main part, i.e., 10'6" – the new addition to rest on concrete piers and have lattice under the same. Also have moved and changed china closets in the present butler's pantry so as to have them rest upon the east and south walls of that room, the soil pipe to be cased in. Also change the two windows in bedroom #8 into one large window. Also fix up the sump in basement with galvanized iron gratings so as to make it rat proof. Also change the two doors in drawing room so as to have the best side of the same exposed when doors are open. Also put up in bay window of dining room the fretwork now stored in the cellar.*<sup>55</sup>

The general seems to have gotten his way, even though it increased the cost of refurbishing the residence from \$4,500 to \$4,931.<sup>56</sup> Funds were located, though, and most of the general's 'wish list' items accomplished — as well as a few others. On March 1, 1912 a "Report of Changes" for Quarters 1 was filed that included:

*An addition was placed on the Conservator 5' x 22'6"*  
*New closet installed at end of hall, second floor, 2'6" x 9'*  
*An additional closet was provided in rear hall, second floor, 2'x8'. This space was cut off of*

*bathroom.*  
*All bathrooms, kitchen, laundry, and pantry changed to fiber stone floors*  
*Cellar floors concreted.*

In addition, the report included the notation that a gas main had been constructed to the residence for heating purposes to all fireplaces, and that gas logs had been put in each fireplace. Finally, wall radiators had been substituted for stand radiators.<sup>57</sup>

On or about the same date, a handwritten document was prepared listing some of the furniture in various buildings at Fort Mason 1. The pieces listed were for Quarters 1 were: 1 bookcase; 4 chairs, arm, dining; 12 chairs, dining; 1 chair, arm, library; 3 chests of drawers; 1 desk, library; 1 refrigerator; 1 rack, hat; 1 sideboard; 1 table, dining; 3 tables, kitchen, and 1 table, parlor.<sup>58</sup>

The remodeling of the general's residence corresponded with the construction of the new warehouses and transport wharves located at lower Fort Mason, and the transformation of the fort itself from an artillery post to a "Quartermaster General Depot." Under this new command structure, the fort would increasingly become an administrative headquarters for shipping troops and supplies to the army's far-flung Pacific bases, a role which would evolve by the 1920s into the San Francisco Port of Embarkation (SFPE). The Commanding General's residence and its support buildings would remain an isolated enclave within the fort, surrounded by high hedges that visually cut off its residents and activities from the rest of the post. However, the continuing maintenance and periodic upgrades to the residence remained the responsibility the fort's quartermaster — and his budget.

#### **World War I – World War II Era**

The First World War by-passed Quarters 1 for the large part, but the grounds of Fort Mason surrounding the residence erupted with a warren of temporary warehouses and barracks where troops bound for Europe waited before shipping out. Following the armistice, the residence hosted another dignitary when Gen. John "Black Jack" Pershing, the former commander-in-chief of the American Expeditionary Force, visited San Francisco and inspected its defenses. Following his tour of the bay forts, Pershing lunched at the commanding general's house at Fort Mason. Interestingly, Division Commander Maj. Gen. Hunter Liggett wasn't in residence at the time, leaving other local army brass to entertain Pershing.<sup>59</sup>

Figure 14 - Fort Mason viewed from Aquatic Park, January 14, 1919. Quarters 1 is in the center of the photo up on the hill and the still rectangular conservatory is visible. (SFPL DPW 6134)



Detailed interior drawings of the first and second floors of Quarters 1 were prepared in April 1922. These plans and their annotations reveal many changes and alterations not documented in army correspondence. The most extensive of these changes was the replacement of the original conservatory on the east façade with a large, semi-circular conservatory that extended well into the lawn area. (After the residence was converted to an Officers Club this room would be known as the “Circle Room.”) Although records don’t provide a date for this modification, a photograph taken in 1919 from Aquatic Park shows the original conservatory wing still in place, allowing researchers to date its reconstruction to 1919 - 1922. The reason for the remodeling is unknown but likely it was done at the direction of one of the commanding generals in residence, whose intent may simply have been to expand the usable floor space of the aging structure.<sup>60</sup>

Other changes shown on the 1922 plan are the realignment of the staircase leading from the reception hall to the second floor; the relocation of the doors and the short hall leading to the general’s library/office; the expansion of the general’s aide’s room on the first floor; the relocation of the library fireplace from the north wall to the south; and the rebuilding of the pantry and several other spaces in the kitchen wing; However, with the exception of the semi-circular conservatory, the building remained remarkably similar to its original 1877 configuration.<sup>61</sup>

Alterations, renovations, redecoration and upgrades continued throughout the 1920s and 1930s, and were dutifully recorded in the post quartermaster’s “Historical Record of Public Buildings” – an indispensable compilation of expenditures and alterations made to an army post’s buildings and universally referred to as a fort’s “Building Book.” Entries made between 1908 to 1941 record a myriad of changes to Quarters 1, ranging from utility upgrades to replacing soap dishes. A complete listing would overwhelm the reader, so here instead are some samplings and highlights:

- Expended from 1887 to June 30, 1926 - \$20,437.78
- Dec 11, 1926 - Installed Automatic Premier Water heater, size #4 - \$188
- Mar 7, 1926- Installed 36 curtain rods - \$3.50
- Oct 4, 1927 - Installed two smoothbore cannon, Model 1857, Nos 82 & 222 - \$8
- June 11, 1927 - Installed brass plaque listing names of all residents of Qrtrs 1 - \$425
- May 1928 - Installed “Ray Automatic Oil Burner” - \$323
- June 1, 1931 - Painting exterior of Bldg by contract (9<sup>th</sup> Corps Area funds) - \$222.50
- July 7, 1931 - Cleaning and finishing floor in ballroom - \$24
- Feb 5, 1934 - Paper walls of library, two bedrooms and alcove; tinting ceilings of library, 3 bedrooms and alcove - \$86.35
- Jan 16, 1935 - Revising bronze name plaque - \$18
- Aug 25, 1939 - Installed 3 crystal chandeliers -

Figure 15 - This photo of Quarters 1 in 1941 shows the new chimney at the library wing, the functional porte-cochere and the original kitchen wing with a hipped roof. (75-C-41)



\$440.68  
-June 6, 1940 - REMOVED: 3 crystal chandeliers  
- n/c

Quarters 1 from the 1880s to date totaled \$46,884.92.<sup>64</sup>

The Building Book also reveals that two major upgrades to the building's bathrooms took place during this era, one in 1930 and another in 1938. The first was a contract job described as: "Repairs and alterations such as tiling bath floors and walls and installing necessary plumbing fixtures, papering, painting and sanding floors, contract No w-55238," and cost \$2,128.50. The second remodeling project seems to have been handled through in-house funds provided by the 9<sup>th</sup> Corps Area and included nearly fifty work items such as new floor registers, lighting fixtures, medicine cabinets, toilet paper holders, and lavatories.<sup>62</sup> In a Completion Report filed that same year, the Assistant QM for Fort Mason reported that other improvements during the project included installing an additional bathroom on the second floor, replacing the roof, painting the building's interior and exterior, replacing knob-and-tube wiring with BX cable and conduit, replacing oak flooring and refinishing old floors, replacing old wallpaper, repairing gutters, refinishing wood trim, and miscellaneous carpentry and plastering repairs.<sup>63</sup>

By the eve of World War II, the structure had been brought up to modern code, and an anonymous Post Quartermaster calculated that by August 1, 1940, repairs and expenditures to

In 1936 a reporter for the *San Francisco Chronicle* described a visit to Fort Mason and Quarters 1:

*The house, a large rambling affair, rests at the top of a turfed knoll rolling down to the bay. The first floor, comprising living room, dining room, conservatory, den and kitchen quarters, is finished in light and dark hardwood, done in herringbone design. The second story is a profusion of bedrooms and baths, each room advancing a different kind of architecture and window design. The conservatory, a large, vine covered, windowed room, looks out on Alcatraz Island, a former army fortification.*

*Over the porticos separating the downstairs rooms are intricately carved wooden frescoes. One of these, picturing a cavalryman's saber under a shield studded with four stars, probably was added during the residence of Lieutenant General Phil Sheridan, highest ranking officer to use the quarters.<sup>65</sup> [N.B. The reporter erred here on two counts: Sheridan never occupied Quarters 1, and a lieutenant general only merits three stars.]*

#### World War II Era & Officers Mess

From 1939 to 1943 Lt. Gen. John L. DeWitt, commander of the U.S. Army's 9th Corps Area, occupied Quarters 1. In mid 1943 he was succeeded by Lt. Gen. Delos C Emmons, the last resident of the structure. According to James Sullivan,

the Public Information Officer and defacto post historian, Emmons was the key player in transferring the residence to the San Francisco Port of Embarkation (SFPE) for use as an officers' "open mess", or officers club. According to Sullivan's unpublished history of the fort, the Fort Mason

Officers Club had simple beginnings but high ambitions:

*The Officers Club was initiated by General Gilbreath in mid-1942 and its "headquarters" was a dormitory-sized space in one of the Hostess*

Figures 16 & 17 - Social events in the new Officers Club in 1947 and 1948. The top photo shows an event in the Circle Room (formerly the Conservatory); the bottom photo shows a function in the newly constructed Social Hall. (GOGA 32475)



*House buildings [located south of today's Youth Hostel, Building 240].*

*When Lt. Gen. Delos Emmons, Army Air Corps, arrived in San Francisco to take over the Presidio command (I think it was then Hq, Western Defense Command) he told General Gilbreath he didn't want the entire Quarters 1. The San Francisco Port of Embarkation CG offered to remodel part of the second floor into "the finest apartment you can imagine" or words to that effect if Emmons would transfer building ownership to the Fort Mason Command. Emmons "bought" the deal and furthermore put it in writing, an action which was to prove invaluable and conclusive when some one at PSF indicated desire for repossession.<sup>66</sup>*

The official Building Book entry for Quarters 1 confirms this story in most respects, although actual transfer authority is credited to General Joyce at the Presidio: "Transferred to SFPE per 1<sup>st</sup> Ind. HNSC 9 Aug 1945 confirming agreement of Sept 23, 1943 between Cmdg Gen SFPE (Maj. Gen F Gilbreath) & Cmdg Gen. Western Defense Command (Maj. Gen. Kenyon A Joyce) MS'd 9/18/43 See Confidential file for copy of letter."<sup>67</sup> It also appears from official records that Lt. Gen. Emmons continued to occupy his upstairs apartment while the Officers Club set up operations downstairs, and apparently lived above the club until sometime in 1944.<sup>68</sup>

According to Sullivan, an officer named Captain

John Paul Jones was named Club Officer. Jones, widely known as manager of the local Bellevue Hotel, the San Francisco and Silverado Golf Clubs, and various Carmel-Monterey hostelries in post-war years, got his early experience running the new Fort Mason club. Although no details of wartime operations have been found, photographs indicate that the former dining room was converted to a cafeteria-type serving area and the conservatory became the primary entertainment and dining room, while the former parlor became a lounge. At some early date the basement was also converted into a downstairs "tap room" type bar, with the sandstone foundations of the house forming rustic walls and columns.<sup>69</sup>

By 1948 the "San Francisco Port of Embarkation Officers' Club" was offering a full spectrum of dining and entertainment that included bingo, string music, formal dinner dances, "stag smoker - men only" events, and family night songfests. In addition, the club advertised "Poker, bridge and pool facilities available every night." At the time, the bar apparently didn't yet have a liquor license and it operated strictly a BYOL (Bring Your Own Liquor) affair, although bartenders hosted a daily cocktail hour and offered free drink setups to club members. A basement locker area provided storage space where members could leave their private bottles between trips to the bar.<sup>70</sup>

**Figure 18 -** By the 1950s the Officers Club was cramped for space. Before the Dining Hall was constructed in 1960 the Conservatory was pressed into use as a dining room. Note the 1950s decor, with the long floral drapes and the formica table tops. View looking east, 1955. (GOGA 2316)





Figure 19 - Quarters 1 renamed "McDowell Hall" in honor of General Irving McDowell, July 22, 1958. (SFPL-AAD-6087)

The Officers Club must have been incredibly crowded during World War II, since Fort Mason was the administrative center of the Army's sprawling San Francisco Port of Embarkation, an organization that encompassed port facilities at a dozen locations around the bay. Barracks, administrative buildings, warehouses and shipping facilities occupied nearly every square inch of Fort Mason, and the Officers Club became a hub of after-hours relaxation by the port's officer cadre.

Activities barely slowed after the end of the war, since troops returning by the shipload from the Pacific Islands had to be processed and discharged by the SFPE staff. In addition, the port was now responsible for shipping supplies and replacement troops to Occupied Japan. By February 1948 work had begun on a new addition to the club and it was reported in the official Daily History Report that steel roof trusses from a warehouse being demolished in the pier area "have been utilized in the new social hall addition being built on the Officers' Club, Quarters 1."<sup>71</sup>

Later the same year, the first mention appears of the upstairs bedrooms being used for housing visiting personnel. In March, the Fort Mason History Report noted, "Two suites were established at the Officers' Club Annex to accommodate important guest." This may be the origin of the Army's long-standing tradition of allowing

high-ranking officers to use the upstairs bedrooms in Quarters 1 for temporary lodging while traveling through – or visiting – San Francisco.<sup>72</sup>

The new Social Hall addition was completed and dedicated on June 4, 1948, greatly expanding the area available for entertainment and special events held at the club. Measuring 40'x 50', the Ballroom, as it was also known, was constructed adjacent to the original 1877 building at the southeast corner of the structure.<sup>73</sup> In September that same year, the Fort Mason "Historical Report" recorded that a Board of Governors had been elected for the Officers Club and that the new upstairs suites were proving exceedingly popular with VIPs; in the preceding three months, guests staying in the suites had included one brigadier general, four major generals, and one lieutenant general.<sup>74</sup>

A 1949 Officers Information Booklet described the facilities and membership at the Officers Club:

*The Officers' Mess is located in Bldg. 1, and includes a recreation room, library, bar, and dining room. Cafeteria lunches are served Monday through Friday from 1145 to 1330. Table service dinner is served from 1800 to 1930 daily.*

*All Officers assigned to Fort Mason automatically become members of the Officers' Mess upon assignment, but are not billed for dues the month of arrival. Dues for succeeding months will be*

Figure 20 - By the 1960s, with the Transient Dining Room constructed, the Conservatory was free to be transformed into the Cocktail Lounge. Note the dramatic change from figure 16 & 18 - the windows were replaced, light cans were installed into new ceiling tiles and the decor was lighter, more open and more "modern". View looking northwest, circa 1960s. (GOGA 2316)



Figure 21 - This photo from 1971 shows the west elevation as it stands today, with the new, flat-roofed kitchen addition at the left hand side. View looking west. (GOGA-2316)



*collected unless officer indicates he does not desire membership.*

*In addition to officers of this post, membership is extended to all Army, Navy and Marine Officers, either retired, reserve, or on active duty.*

*Dues for all members are \$2.00 per month with an addition fee of 50¢ per month if a liquor locker is desired.<sup>75</sup>*

In July 1958, the Army officially renamed Quarters 1 “McDowell Hall” in honor of Gen. Irving McDowell, the officer who had directed the residence’s original construction in 1877. The post carpenter constructed a large wooden signboard with the building’s new name and hung it hung from the porte-cochere above the club’s front door.<sup>76</sup>

#### **Cold War Era, Reconstruction, & Post Inactivation**

The next major modification to Quarters 1 occurred in 1958-1959, not as an effort to modernize the building but rather to provide additional dining space for the membership as well as for military personnel traveling through the Bay Area (see figure 18). This latter group, referred to by the Army inelegantly as “transients,” often included military families passing through San Francisco on their way to and from Pacific bases.

In early 1958 the Army prepared plans for a new dining wing measuring 59’ x 34’ to be added to

the northwest corner of the original building. The remodeling would also include a total rebuilding of the still-surviving 1850s kitchen wing and a substantial upgrading of the former dining room/serving area into a state-of-the-art cafeteria. For a period during the design phase, the army considered converting the building in two phases: Phase I to include remodeling the serving area and kitchen, and Phase II to include the addition of the new “Transient Dining Room.” By the end of September 1958, though, the final plans called for all construction to take place simultaneously. Revisions were made through early 1959 and work began that year.

Another change in planning involved the kitchen wing. As noted above, this wing was a still-surviving portion of the 1850s Brooks-Grisar house that had been incorporated into the “new” general’s residence in 1877. Initial remodeling plans called for retaining the historic wing and building a new kitchen within its historic envelope, including the original hipped roof and dormer windows. However, structural conditions in the century-old addition must have been too abysmal to allow its being retained. On August 19, 1959 revised plans were prepared that specified “Kitchen Demolition and Reconstruction,” and showed a total replacement of the historic kitchen and servants’ wing. Demolition and new construction eventually took place within the 1850s wing’s historic footprint.<sup>77</sup>

Construction continued throughout 1959 and was apparently completed in early 1960, and a set of plans dated February 1 that year show in detail the new Transient Dining room, cafeteria, and rebuilt kitchen wing (see figure 21). The same plans also reveal that the former Conservatory had been converted from a dining area to a bar called the “Circle Room” (see figure 20), and that the historic general’s office on the first floor served as a library.<sup>78</sup>

The addition of the Transient Dining Room and the remodeling and rebuilding of the dining room and kitchen wing were the last major modifications to Quarters 1. From 1960 until present the building’s exterior appearance and interior room arrangement would remain largely unaltered. Tastes in décor would continue to change, though, and the historic drawings of the Officers Club now preserved by the National Park Service record a multitude of remodelings and upgrades that took place over the next forty years. Some of the more extensive modernizations to the structure included:

- Installation of aluminum and glass front doors (June 1961)
- Extended and remodeling the first floor ladies lounge (1967)
- Exterior repainting (July 1968)
- Misc. alterations including electrical upgrades, new colors, etc (August 1970)
- Remodeling of the bar and replacing the front doors (April 1974)
- Interior repainting (April 1981)
- Redecoration of club interior and rebuilding the cocktail lounge (June 1981)
- Re-roofing the cocktail lounge (August 1981)
- Adding a new store room on the northeast corner of the building (May 1983)
- Renovation of bar to its present configuration (August 1985)
- Replacing the food service counter (May 1985)
- Renovating the kitchen receiving and storage area (May-June 1986)<sup>79</sup>

The last major remodeling effort occurred in summer 1986 when all interior bathrooms within the building were redecorated in a faux-Victorian

Figure 22 - Aerial view of Officers Club and Fort Mason, March 1970. This photo shows the building as it stands today. (GOGA 2316)



style. Fixtures included pedestal sinks, pull chain toilets, brass faucets and towel rods, and extensive use of wood tongue-and-groove paneling. (Drawings prepared by the architect indicate that most if not all were off-the-shelf “home renovation” items.) At the end of this final upgrade, the interior of McDowell Hall had reached its most recent configuration.<sup>80</sup>

Actual military activity at Fort Mason continued to dwindle throughout the 1960s and subsequent years as more and more administrative duties were transferred to the Oakland Army Terminal. In 1962 the Department of Defense ordered all remaining transport operations moved to Oakland, and in July 1963 directed the major part of Fort Mason be declared surplus.<sup>81</sup>

In 1966, the Army transferred the now-vacant western portion of the post and the pier complex to the General Services Administration, retaining only the housing area, Officers Club and a handful of administration buildings at the eastern end of the post. By 1971, the Fort Mason club was officially listed as an annex of the Oakland Army Base Officers Open Mess, and membership in one included membership in the other.<sup>82</sup> The following year Congress created the Golden Gate National Recreation Area, and the National Park Service established the new park’s headquarters in Fort Mason.

During the 1980s and 1990s the military continued to reduce its activities in the Bay Area, partly as a result of cutbacks and partly as a result of Congressionally mandated “Base Realignment and Closure Acts” (BRAC). The Fort Mason Officers Club continued to serve a dwindling population of active duty military personnel, and the club increasingly relied upon retirees and local San Francisco residents as its primary clientele. In 1997 the Oakland Army Terminal closed down and all military families depart Fort Mason. The club could not continue operating without sponsorship by an active military command, so subsequently the Fort Mason Officers Club was “adopted” by the Defense Language Institute at the Presidio of Monterey, located 100 miles south of San Francisco.

By 2002 it was obvious that the club could no longer claim status as an active military support function, and the club closed in the fall of that year. In early 2003, the National Park Service’s Golden Gate National Recreation Area assumed ownership and maintenance of Quarters 1.

#### (Endnotes)

<sup>1</sup> California State Military Museum website [www.militarymuseum.org]

<sup>2</sup> *Ibid*

<sup>3</sup> Erwin Thompson, unpublished manuscript, *History of Fort Mason*, pg 20. In Thompson’s research notes collection, accession #GOGA-2974, Park Archives and Records Center (hereafter PARC), Golden Gate National Recreation Area (hereafter GOGA)

<sup>4</sup> *Outline Description of Military Posts, Department of California, Point San Jose, California*, 1 January 1871

<sup>5</sup> *Post Returns for Point San Jose, California*, entries for November and December 1876

<sup>6</sup> This fence is clearly visible in photo illustration #8.

<sup>7</sup> Charles Kinnaird, *The Army At The Golden Gate*, pg 25, in Thompson note collection, GOGA-2974, PARC, GOGA

<sup>8</sup> *Daily Alta California*, “Black Point Reservation”, 7 July 1877, pg 1

<sup>9</sup> The actual orientation of the long axis of Quarters 1 is actually northwest-southeast, with the primary façade facing southwest. As a convenience, the authors of this report have use a north-south axis as a reference, with the primary façade thus facing west.

<sup>10</sup> Capt. C.F. Humphrey, Asst. QM, Depart QM Office, Presidio, to Chief QM, Dept of Calif., March 28, 1884. OQMG, General Correspondence. File, Fort Mason, RG 92, NARA, and various post maps at GOGA

<sup>11</sup> *Outline Description of Military Posts in the Military Division of the Pacific, Fort, Point San Jose, California*, 1879. Pg 87-88

<sup>12</sup> *Daily Alta California*, “General McDowell’s Reception In Honor of the Ex-President”, 25 September 1879, page 1

<sup>13</sup> S.B. Holabird, Deputy Quartermaster General (QMG), Mil. Division of the Pacific, to Quartermaster General, 2 October 1879. Consolidated Correspondence File, Fort Point, Office of the Quartermaster General (OQMG), Record Group (RG) 92, National Archives and Records Administration (NARA)

<sup>14</sup> *Daily Alta California*, “Hayes At Black Point”, September 12, 1880, pg 1.

<sup>15</sup> Capt. C.F. Humphrey, AQM, Division of the Pacific, 6 June 1884. *Annual Report of Buildings at Presidio of San Francisco*. Entry 225, Presidio - Box 850, OQMG, RG92, NARA

<sup>16</sup> *Report of the Annual Inspection of Public Buildings at Presidio of San Francisco...and Estimate of Additions, Alterations and Repairs thereto*, 1 June 1885, Entry 225, Box 852 Presidio, OQMG RG92, NARA

<sup>17</sup> *Annual Report of Inspection of Buildings at Presidio of San Francisco, 1886*. File 778, Entry 225, Presidio Box 852, OQMG, RG92, NARA

<sup>18</sup> O.O. Howard, *Autobiography*, pg 545-546 {date and publisher needed}

<sup>19</sup> The photograph is from the HABS collection

at the Library of Congress. No source is given, but the photo is dated as 1877. This researcher believes the photo was actually taken in the 1880s.

<sup>20</sup> 1<sup>st</sup> Lt. F.S. Rice, AAQM, Fort Mason, to QMG. *Report of Inspection of Public Buildings*, 31 March 1887. Consolidated Correspondence File, Fort Mason, OQMG, RG92, NARA

<sup>21</sup> *Estimate of Material and Labor Required for the Service of the Post of Fort Mason for Fiscal Year ending 30th day of June 1888*. N.D. #1106, Entry 225, Fort Mason Box 616, OQMG, RG92, NARA

<sup>22</sup> 1<sup>st</sup> Lt. F.S. Rice, AAQM, Fort Mason, to QMG. *Report of Inspection of Public Buildings*, 31 March 1888. Consolidated Correspondence File, Fort Mason, OQMG, RG92, NARA

<sup>23</sup> *Estimate of Material and Labor Required for the Service of the Post of Fort Mason for Fiscal Year ending 30th day of June 1889*. N.D. #1219, Entry 225, Fort Mason, Box 616, OQMG, RG92, NARA

<sup>24</sup> Both images from RG92, Still Picture Branch, NARA

<sup>25</sup> Single-page memo, unsigned "Improvements desired by the Commanding General to his quarters at Fort Mason", received at Department of California HQ, 4 May 1897. Doc #103113, Entry 89, Box 1423, OQMG, RG92, NARA

<sup>26</sup> No signature. Letterhead of E.J. Lawton, Practical Plumber, San Francisco., to Dear Sir, 20 May 1897. Doc #103113, Entry 89, Box 1423, General Correspondence, OQMG, 1890-1914, RG92, NARA

<sup>27</sup> AQMG, Dept of California, to Adjutant General (AG), Dept of California, 22 May 1897, Doc #103113, Entry 89, Box 1423, General Correspondence, OQMG, 1890-1914, RG92, NARA

<sup>28</sup> Telegram, B.G. William Shafter to AG, Washington, D.C., 11 June 1897. Doc #103113, Entry 89, Box 1423, General Correspondence, OQMG, 1890-1914, RG92, NARA

<sup>29</sup> Letter, QM, US Army to Chief QM, Dept of California, 16 June 1897. Doc #103113, Entry 89, Box 1423, General Correspondence, OQMG, 1890-1914, RG92, NARA

<sup>30</sup> AQM, Presidio, to Chief QM, Dept of California, 20 July 1897, Doc #103113, Entry 89, Box 1423, General Correspondence, OQMG, 1890-1914, RG92, NARA

<sup>31</sup> Letter from Departmental Commander to Assistant Adjutant General (AAG), Dept. of California, 31 July 1897, Register of Letters Received, Vol 36, E3, RG 393, NARA

<sup>32</sup> Letter, AQM US Army to Chief QM, Dept of California, 15 October 1897, Doc #103113, Entry 89, Box 1423, General Correspondence, OQMG, 1890-1914, RG92, NARA

<sup>33</sup> *San Francisco Chronicle*, "Gag the Sentry and

Make Their Escape", 14 April 1903

<sup>34</sup> QM, Fort Mason, to QMG, US Army, 22 March 1905, Doc #216622, entry 89, box 4906, OQMG RG92, NARA

<sup>35</sup> *Ibid*

<sup>36</sup> Maj. I.W. Little, OQMG, to QM, Fort Mason, 24 April 1905, Doc #216622, Box 4906, Entry 89, OQMG RG 92, NARA

<sup>37</sup> 2<sup>nd</sup> Lt. James J. Bain, QM, Fort Mason, to Chief QM, Dept. of California, 20 Feb 1906; and approval by Brig. Gen. Frederick Funston, CG Dept of California, 23 Feb 1906, Document #226501, Box 5319, Entry 89, OQMG RG 92, NARA

<sup>38</sup> James Sullivan research notes on Fort Mason and 1906 disaster, Box 4, folder 2, "Sullivan Papers", GOGA 32475, PARC, GOGA.

<sup>39</sup> "Report of Brig. Gen. Frederick Funston", pg 8, in Box 4, folder 2, "Sullivan Papers", GOGA 32475, PARC, GOGA

<sup>40</sup> See historic photographs of Fort Mason refugee camps following the 1906 Earthquake in various collections of Park Archives and Records, Golden Gate National Recreation Area.

<sup>41</sup> "Report of Brig. Gen. Frederick Funston", pgs 10-11, in Box 4, folder 2, "Sullivan Papers", GOGA 32475, PARC, GOGA

<sup>42</sup> *Ibid*, pg 11

<sup>43</sup> *Presidial Weekly Clarion*, edition of April 27, 1906

<sup>44</sup> Sullivan unpublished Fort Mason history, Chapter XI, "The 1906 Earthquake and Fire: The Army Comes to the City's Assistance," Box 4, folder 2, "Sullivan Papers", GOGA 32475, PARC, GOGA

<sup>45</sup> "Report on Earthquake Damage, All Posts", J. Clem, Office of the Chief QM, Dept. of California, Presidio of San Francisco, 20 June 1906, OQMG General Correspondence, 1890-1914, RG92, NARA

<sup>46</sup> "Special Requisition", 12 June 1906, Doc #216622, Box 4906, Entry 89, OQMG RG 92, NARA

<sup>47</sup> Acting Chief QM, Dept of California, to QM General, 12 December 1906; and Chief QM, Dept of California, to QM General, 15 May 1907, Doc #216622, Box 4906, Entry 89, OQMG RG 92, NARA

<sup>48</sup> 1<sup>st</sup> Lt. R.T. Ward, CO, Fort Mason, to Chief QM, Dept. of California, 11 Sept 1908, with endorsements and approvals, Document #216622, Box 4906, Entry 89, OQMG RG 92, NARA

<sup>49</sup> *Ibid*

<sup>50</sup> Lt. Col. R.R. Stevens, Chief QM, Dept of California, to Adj. Gen., Dept of California, 28 June 1909, Doc #25641, Box 6452, entry 89, OQMG RG 92, NARA

<sup>51</sup> QMG J.B. Aleshire, to AG USA, 4<sup>th</sup> endorsement, 8 December 1909, OQMG

- General Correspondence, 1890-1914, RG92, NARA
- <sup>52</sup> 2<sup>nd</sup> Lt. R.A. Jones, CO Fort Mason, to AG USA, 11 December 1909, OQMG RG 92, NARA
- <sup>53</sup> "Specifications for Repairs to Certain Buildings at Fort Mason", 1911, General Correspondence, 1890-1914, OQMG RG 92, NARA
- <sup>54</sup> Contract with P. J. McGaffigan, 25 October 1911, Doc #341615, OQMG RG 92, NARA
- <sup>55</sup> Capt. M. Craig, Headquarters, Western Division, to Lt. Col. Williamson, Construction Quartermaster, Fort Mason, 29 December 1911, General Correspondence, 1890-1914, OQMG RG 92, NARA.
- <sup>56</sup> Williamson to QMG, 2 January 1912, General Correspondence, 1890-1914, OQMG RG 92, NARA
- <sup>57</sup> "Report of Changes to be made in Historical Record of Public Buildings, CG's Quarters No. 1", 1<sup>st</sup> Lt. Robert B. Parker, QM Fort Mason, 1 March 1912, General Correspondence, 1890-1914, OQMG RG 92, NARA
- <sup>58</sup> Handwritten record of furniture at Fort Mason, possibly prepared by 1<sup>st</sup> Lt. Robert B. Parker, QM, Fort Mason, on or about 1 March 1912, General Correspondence, 1890-1914, OQMG RG 92, NARA
- <sup>59</sup> "Pershing 'Takes Stock' of San Francisco", *San Francisco Chronicle*, 26 January 1920
- <sup>60</sup> Photograph "DPW 6134" dated 14 Jan 1919 in Dept of Public Works Collection, San Francisco Public Library.
- <sup>61</sup> Drawing "Commanding General's Residence, Fort Mason, Cal.", Job 6616, 4 April 1922, PARC, GOGA
- <sup>62</sup> "Historical Record of Public Buildings, Fort Mason" (hereafter "Building Book"), forms 173 and 173 for Quarters 1, PARC, GOGA
- <sup>63</sup> Capt. Clifford Smith, Asst. QM, "Completion Report for Alterations and Rehabilitation of Bldg. No. 1, Fort Mason", n.d., RG77, NARA [According to NPS Historian Erwin Thompson this document was at NARA's Suitland, MD record center when he saw it c1980.]
- <sup>64</sup> Building Book, GOGA, PARC
- <sup>65</sup> Lawley, Murray "Presidio Structure Home of 36 Army 'Greats'", *San Francisco Chronicle*, 1 June 1936
- <sup>66</sup> Sullivan papers, Box 1, folder 1, GOGA 32475, PARC, GOGA
- <sup>67</sup> Building Book, PARC, GOGA
- <sup>68</sup> Sullivan papers, "Narrative Description of Quarters 1, Post Engineer Files, 1943-1944," Box 8, Folder 3, PARC, GOGA
- <sup>69</sup> Drawing, "Fort Mason Officers Open Mess", SFPE No. 1113, Drawer 233, Folder 1, PARC, GOGA, and various photographs, Sullivan Collection, GOGA 32475, PARC, GOGA
- <sup>70</sup> "San Francisco Port of Embarkation Officers Mess" menu, March 1948, Sullivan papers, Box 8, Fldr 18, GOGA 32475, PARC, GOGA
- <sup>71</sup> "Daily History Report, Headquarters, Fort Mason." Entry for 13 February 1948. Sullivan Papers, GOGA 32475, Box 7, Folder 5, PARC, GOGA
- <sup>72</sup> *Ibid.* Entry for 5 March 1948.
- <sup>73</sup> *Ibid.* Entry for 4 June 1948.
- <sup>74</sup> "Historical Report for Third Quarter, SF Port of Embarkation", entry for 10 September 1948, Records of U.S. Army Command, 1942 on, RG 338, NARA
- <sup>75</sup> "Fort Mason Officers Information Booklet", U.S. Army, 1949. Unfortunately, historian Thompson who transcribed this booklet did not note its repository.
- <sup>76</sup> Photograph, "Century old Quarters No. 1 at Fort Mason Gets New Name," 22 July 1958, Photo AAD-6087, SF Public Library
- <sup>77</sup> Various drawings 'Additions & Modifications to Open Mess', dated 6 June 1958, 11 June 1958, 11 July 1958, and 19 August 1959. Drawer 233, Folder 1, PARC, GOGA
- <sup>78</sup> Drawing, "Transient Dining Room, Bldg. #1, Fort Mason," 1 February 1960, Drawer 233, Folder 2, PARC, GOGA.
- <sup>79</sup> Various drawings, Drawer 233, Folder 3, PARC, GOGA
- <sup>80</sup> Drawings, "Renovate Bathrooms, Building 1, Fort Mason", 23 June 1986, Drawer 233, Folder 3, PARC, GOGA
- <sup>81</sup> "Fort Mason Officers Club General Information and Membership Application Brochure," US Government Printing Office, 2002
- <sup>82</sup> "1971 Unofficial Guide and Directory, Oakland Army Base", Sullivan Collection, Box 8, Folder 20, GOGA 32475, PARC, GOGA



# General Officers occupying Quarters 1

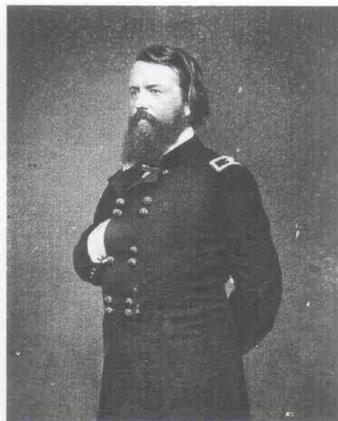
## Fort Mason<sup>1</sup> 1877 – 1944



Major General Irvin McDowell



Major General John M. Schofield

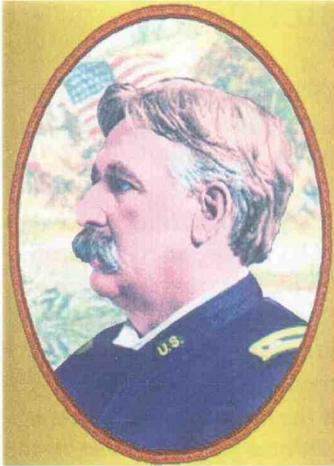


Major General John Pope



Brigadier General Nelson A. Miles

<i>Major General Irvin McDowell</i>	1877 – 1882
<i>Major General John M. Schofield</i>	1882 – 1883
<i>Major General John Pope</i>	1883 – 1886
<i>Major General Oliver O. Howard</i>	1886 – 1888
<i>Brigadier General Nelson A. Miles</i>	1888 – 1890
<i>Brigadier General John Gibbon</i>	1890 – 1891
<i>Brigadier General Thomas H. Ruger</i>	1891 – 1894
<i>Brigadier General James W. Forsyth</i>	1894 – 1897
<i>Brigadier General William R. Shafter</i>	1897 – 1898; 1899 – 1901
<i>Brigadier General H. C. Merriam</i>	1898 – 1899
<i>Major General S. B. M. Young</i>	1901 – 1902
<i>Brigadier General R. P. Hughes</i>	1902 – 1903
<i>Major General Arthur MacArthur</i>	1903 – 1905; 1906 – 1907
<i>Brigadier General Francis Moore</i>	1905
<i>Major General S. S. Sumner</i>	1905 – 1906
<i>Major General Adolphus W. Greely</i>	1906
<i>Brigadier General Frederick Funston</i>	1907 – 1908
<i>Brigadier General Frederick A. Smith</i>	1908 – 1909
<i>Major General John F. Weston</i>	1909
<i>Major General Thomas H. Barry</i>	1909 – 1910
<i>Brigadier General Tasker H. Bliss</i>	1910 – 1911
<i>Major General Arthur Murray</i>	1911; 1912 – 1915; 1917 – 1918
<i>Major General J. F. Bell</i>	1915 – 1917



Brigadier General William R. Shafter



Major General Arthur McArthur



Brigadier General Frederick Funston



Lieutenant General John L. DeWitt

<i>Brigadier General William L. Silbert</i>	1917
<i>Lieutenant General Hunter Liggett</i>	1917 – 1919 – 1921
<i>Brigadier General Charles G. Treat</i>	1918
<i>Brigadier General C. H. Muir</i>	1921
<i>Major General W. M. Wright</i>	1921 – 1922
<i>Major General C. C. Morton</i>	1922 – 1925
<i>Major General Charles T. Mencher</i>	1925 – 1926
<i>Major General James H. McRae</i>	1926
<i>Major General J. L. Hines</i>	1927 – 1930
<i>Major General Malin Craig</i>	1930 – 1935
<i>Major General Paul B. Malone</i>	1935 – 1936
<i>Major General George S. Simonds</i>	1936 – 1938
<i>Lt. General Albert J. Bowley</i>	1938 – 1939
<i>Lt. General John L. DeWitt</i>	1939 – 1943
<i>Lt. General Delos C. Emmons</i>	1943 – 1944 <sup>2</sup>

**(Footnotes)**

<sup>1</sup> At various times this command was titled Division of the Pacific, Department of California, Pacific Division, Western Division, and Ninth Corps Area. Some of the appointments were very brief and it is possible that one or more of the generals did not physically occupy Quarters 1, although authorized to do so.

<sup>2</sup> On September 23, 1943, Gen. Emmons transferred Quarters 1 to the San Francisco Port of Embarkation for use as an Officers Club. However, he maintained an apartment upstairs until 1944.

# Fort Mason Quarters 1 Timeline



The original 1855 Commanding General's House at Black Point, 1869. (BANC)

**1850s** Original structure on the site built by James Brooks, editor of *Golden Era*, who occupies it briefly, then sells it to Haskell & Co. House is sold again to Charles Cook of Palmer-Cooke & Co.

**1861** House sold to wool merchant Emil Grisar who lives there for three years.

**1864** Grisar leases house for one year to U.S. Army surgeon Dr. Ten Broeck (identified as "Surgeon, U.S.A. Medical Purveyor"), probably during period between the army's initial occupation of Black Point and before the final eviction of remaining 'squatters'

**1865 August** U.S. Army takes full control of Grisar's house and remodels it for the residence of Gen. Henry Halleck, Commanding General of Dept. of the Pacific. House repaired and enlarged for his use.

**1865 November** Halleck moves into former Grisar house.

**1869** CG's house photographed by Eadweard Muybridge.

**1871** Army reports in *Outline Description of Military Posts* that four old civilian structures at Black Point have been turned into officers' quarters. "The largest and best of these quarters are occupied by the Department Commander."

**1876** Maj. Gen. Irvin McDowell assumes command of Dept. of the Pacific and secures \$9,998.74 from Congress to remodel the CG's residence.

**1877 July** 7 July 1877 - *Daily Alta California* reports "a fine structure" under construction at Black Point for the major general "where he can entertain satisfactorily." Location is mentioned, "Officers of foreign fleets can have their boats brought to the wharf at the foot of the Reservation." The location was reportedly more accessible by boat than carriage. In the process of construction, old Brooks-Grisar House is moved 80 yards north to site of today's Quarters 2. Two wings are reportedly left behind and incorporated into the new CG's residence.

**1878** New structure (today's Qrtrs 2) is completed. Constructed out of main portion of old Brooks-Grisar house. Intended as residence for the Commanding Officer of Point San Jose Military Reservation.

**1879 September** 25 September 1879. President U.S. Grant visits San Francisco and is entertained at CG's residence by Gen. McDowell.

**1879 October** 2 October 1879. Estimates prepared by Deputy QMG for upgrades and repairs to CG's house. Items include wind fencing, sand control (plantings?), preservation of woodwork inside the house, and unspecified work needed "to put the place in order." Also included is a bandstand north of the residence. The paint included white lead, chrome yellow, chrome green, Prussian blue, drop black, yellow ochre, burnt umber, and Paris white. (Funds approved on 29 October 1879)

**1880 September** 12 September 1880. President Rutherford B. Hayes, Mrs. Hayes and Gen. William T. Sherman entertained at CG's residence by Gen. McDowell. "Lunch was served in the dining room at 1 o'clock."

**1883 December** House formerly occupied by Fort Mason's Commanding Officer (today's Qrtrs 2) reassigned to the senior aide to the Division Commander.

**1884 June** CG's residence identified in *Annual Report of Buildings at Presidio of SF* as Bldg. 58 "Quarters of Division Commander, at Fort Mason." Described as follows. First floor of main structure contains Reception Room, Dining Room, Hall, Butler's Pantry, Hall, Library, Parlor surrounded by a Conservatory, Bathroom, etc, and Cloak Room. Second floor contains a Sitting Room, seven "Chambers", three halls, two Dressing Rooms, two bathrooms. Dimensions given for all. (Same for kitchen wing.) Annual repairs noted. Repaired Plumbing, altered doors, painted floors, repaired fences enclosing quarters.

**1884 July** 30 July 1884. Post described in *Daily Alta California*. "Fifty yards from the outside line of the Reservation is a gate, ornamented on each side with a brass cannon bearing the date of 1673, and just beyond it is [the] residence of Major-General John Pope..." Grounds described as "wonderfully beautiful with lawns, shade trees and flowers... A high lattice fence separates the officers' residences from those of the garrison, and in many places is covered with flowering vines to its full height of twenty-five feet."

**1886** Maj. Gen. O.O. Howard mentions Fort Mason and Qrtrs 1 in his autobiography. "The grounds of the main house were very charming -

the trees of the southern and tropical growth, the hedges all around of geraniums larger than I had ever seen before, and seventy-five varieties of roses beautified a square. After passing through a high gateway, and by the watchful sentinel, we were within a veritable paradise.”

**1887** 2 February 1887. CG's residence transferred to control of Fort Mason and redesignated “Bldg No. A, Division Commander's Quarters”. Described as having nine rooms on ground floor and eight rooms on second.

**1888** “Report of Inspection of Public Buildings at Fort Mason” identifies structure as Bldg 58. Annual repairs included repainting exterior of house, fences and various outbuildings; repairs to doors, floors and windows; and water connections of both main and outbuildings. Walls and floors of several rooms and halls repainted. Total cost \$681.73. Repairs needed: roofs of main building and outbuildings should be painted with fireproof metallic paint. Several rooms require papering and “kalsomining.” Close board fence in front of building will require considerable repairing. Some little repairing to chimneys and ventilators. Incidental repairs to doors, windows, baths, water, etc. \$600 estimate.

**1888** “Estimate of Material and Labor Costs for Fiscal Year 1888.” Bldg 58. New designation Bldg “A”. Paint exterior of building. White lead, yellow ochre, etc. Calcimining, papering and painting inside of building. Whiting, wallpaper, assorted colors, white zinc, and colors. Repair of bathroom and fixtures. Repairs to doors, windows, etc. Painting outbuildings and fences: White lead, burnt umber, yellow ochre, etc. Repairs of fences and outbuildings

**1892 December** Storms blow down trees near CG's house damaging about half the fencing surround tennis court.

**1897 May** Extensive inspection report and recommendations on repairs and upgrades to CG's residence. Items include refurbishing gas fixtures and globes “about sixty in number”; install bathtubs and sinks, and replace/upgrade plumbing and toilets (specs and brands included).

**1897 June** “Improvements desired by the Commanding General to his Quarters” Gen. Shafter's extensive list. Wallpapering, cleaning and polishing wood, remodeling kitchen and laundry, two new tubs, electric bells and enunciators, repair range (new one if needed), paper and paint five upstairs bedrooms, paper and carpet office, install toilet near office, and other misc. items. [Not clear how much accomplished]

**1897 July** 20 July 1897. Request for 40 yards of building stone transported from Angel Island for repairs to foundation. All quarrying and loading to be done by Alcatraz convicts.

**1897 July** 31 July 1897. Dept. Commander requests his quarters be attached to Presidio for repairs, and such labor as can be carried out by Enlisted Men should be supplied from the extra duty force of that post.

**1897 August** 4 August 1897. Letter sent by adjutant at Presidio to Quartermaster, Presidio, asking for information on date he began superintending the work on the CG's house at Fort Mason, and by whose authority. Second letter same date asking what allowances, if any, allotted to the repairs and how many men employed on the quarters.

**1897 September** The following repairs and upgrades to CG's house are reported complete: New furnace, repairs to range, repairing and replacing gas fixtures. Electrical repairs. New bathtubs, [water] closets, and general repairs For refitting the general's office: 70 yds “Brdy” [burgundy?] Brussels Carpet laid. Repairs to desk and book cases. Revolving chair. ½ dozen office chairs Lounge

**1897 October** “\$600 for repairs to paint and woodwork of CG's quarters...completed” Other work includes retaining wall in cellar, exterior painting of quarters, repairs to roof, and painting of stable.

**1903 January** Letter with sketch map prepared showing walks surrounding CG's house and other officers' quarters. CG's house still designated #58.

**1903 April** 14 April 1903. Four Alcatraz prisoners working in basement of CG's house stage break, overpowering and beating guard, gagging him, and escaping through a coal chute. All caught.

**1905 April** \$308.25 authorized for painting the interior of the CG's house

**1906 February** 20 February 1906. Estimate prepared for repairing Division Commander's Quarters No. 58, Fort Mason: Beeswax floors parlor, reception room & conservatory. Varnish door sills in parlor, reception room, and woodwork in conservatory. Paint floor and varnish woodwork in pantry. Stain staircase and varnish balustrade Varnish vestibule. Paint exterior and roof. (Approved)



Chinese Vice Consul and representative merchants calling upon General Funston at Fort Mason, 1906. (SFPL-AAC-2674)

**1906 April 18** April 1906. General Frederick Funston, acting commander of Pacific Division, establishes headquarters at CG's residence following disastrous earthquake and directs army's firefighting and relief activities.

**1906 April 22** April 1906. Gen. Adolphus Greeley, CG of Pacific Division, returns to his residence at Fort Mason and assumes control of relief activities.

**1906 June 20** June 1906. Report on earthquake damage, all posts. CG's house at Fort Mason needed repairs to chimney, roof, plaster, etc.

**1906 December 13** December 1906. QMG authorizes \$120 to repair reception room and halls.

**1907 May 16** May 1907. QMG authorizes \$500 for repairs to floors and walls.

**1908 September 11** September 1908. CO of Fort Mason forwards estimate to put CG's quarters in first class condition. \$2,673 estimate. Long list that includes: Renewing hardwood floors; Repainting upstairs where paint was applied over polished wood; Repairing roof and gutters; Whitewashing basement [2<sup>nd</sup> reference to this practice] 'Whole interior needs repainting.' Specifications include: Kalsomine ceiling of vestibule; Painting exterior, roofs and trim work, two coats; Repairs to woodwork, including scraping, sandpapering & waxing hardwood floors. Approval received for \$1,091 on 9 December 1908

**1909 circa** Floor plan prepared for interior when steam heat was being put in.

**1909 June 28** June 1909. Inspection of Fort Mason. Memo describing CG's quarters reports that CG's structure is heated with hot air furnace. "Complaint has been made that it permits smoke to penetrate into the rooms..."

**1909 December 10** December 1909. Funding authorized to replace hot air furnace with steam heating plant. Other work recommended includes: Renewing floors in Reception Hall, Dining Room and Drawing; Room Patching and replastering where necessary; Repapering Drawing Room, Reception Hall, stairway and 2<sup>nd</sup> floor hall; Repairs to roof.

**1909 December 11** December 1909. CG's residence renumbered from Fort Mason #58 to Fort Mason #1.

**1911** Specifications for repair and repainting Qrtrs 1: Paint exterior - two coats; Repair shingled roof and paint - one coat; Paint entrance gate

and fence - two coats; Repair plaster of ceiling of a 2<sup>nd</sup> floor bedroom. Paper the new plaster and tint ceiling.

**1911 October 25** October 1911. Contract let to make changes in CG's house, including: Convert coal bin into servant's bedroom [probably in kitchen wing]; Place one double-acting door in dining room and one single-acting; Construct two new closets on 2<sup>nd</sup> floor and alter three others; Paint all interior wood. Varnish all hardwood. Wax floors, bronze radiators and piping, fix up mantles, fireplaces, electrical fixtures. Overhaul plumbing; Repair hardware and damaged woodwork and plaster; Place fiberstone floors in bathrooms, laundry, pantry and kitchen; Stain roof shingles. Concrete cellar floor. White-wash cellar. Make building rat proof. Place hardwood floor over all bed rooms in second floor and library.

**1911 December 29** December 1911. Maj. Gen Arthur Murray wants following changes in addition to work already in progress: Rebuild conservatory "so as to make the west side the same width as the main part, i.e., 10'6" - the new addition to rest on concrete piers and have lattice under the same. Rearrange china closets in butler's pantry and case in the soil pipe. Change the two windows in bedroom #8 into one large window. Change the two doors in the drawing room so as to have the best side of the same exposed when doors are open. Put up in bay window of dining room the fretwork now stored in the cellar.

**1912 March 1** March 1912. Report of changes made to Qrtrs 1: Addition placed on Conservatory measuring 5'x26'; New closet built in Butler's pantry; Coal bin change to servant's bathroom; New closet installed at end of second floor hall, 2'6"x9'; Additional closet provided in rear hall, second floor, 2'x8'. This space was off a bathroom. All bathrooms, kitchen, laundry, and pantry changed to fiber stone floors; Cellar floors concreted; New gas main constructed from stable to building for heating purposes to all fireplaces, gas logs put in each fireplace. Wall radiators substituted for stand radiators.

**1912 March** Record of furnishings prepared for Qrtrs 1. 'Chairs, tables,' etc. but no details regarding materials or styles.

**1913 February 28** February 1913. Electrical lighting system upgraded at cost of \$84.63

**1920 January 26** January 1920. General John J. Pershing visits San Francisco, inspects defenses, and has lunch at CG's house. *San Francisco Chronicle* reports that the CG (Lt. Gen. Hunter



Holiday party at Officers Club, circa 1950s. (GOGA)

Liggett) was absent, though.

**1930s** Network of concrete walkways surrounding the structure assumes its present configuration

**1931 September** 26 September 1931. Completion report of alterations to heating system in CG's residence. "Removing old Sunray hot water boiler and oil burner equipment and installing a new steam boiler for oil burning, new oil burning equipment, and new radiators, and providing a Thru heating system for rapid circulation." (Numerous technical details in report)

**1936** Qrts 1 repainted with two coats, lead and oil paint. [No colors specified]

**1938 March** Completion report for Alterations and Rehabilitation of Bldg 1, Ft Mason: Modernized plumbing and installed new fixtures in bathrooms; Installed additional bathroom on second floor; Installed tile on walls and floors of all bathrooms. Also medicine cabinets; Replaced roof; Painted interior and exterior; Replaced open wiring with BX cable and conduit; Replaced oak flooring and refinished all floors. Replaced old wallpaper. Repaired gutters; Refinished wood trim

**1939 December** 15 December 1939. Two cannon reported at Qrts 1, Fort Mason "1684 San Martin" and "1628 San Domingo". One is in front of and one behind the CG's quarters.

**1943 September** Building transferred to Port of Embarkation for use as Officers Club by last resident, Maj. Gen. Kenyon A Royce, on 13 September 1943.

**1948 June** 4 June 1948. Formal opening of new one-story Social Hall addition (sometimes called "Ballroom"), added to SE corner of Qrts 1.

**1949** *Officers Information Booklet* describes Officers' Mess: "The Officers' Mess is located in Bldg 1, and includes a recreation room, library, bar, and dining room. Cafeteria lunches are served Monday through Friday from 1145 to 1330. Table service dinner is served from 1800 to 1930 daily.... Dues for all members are \$2.00 per month with an additional fee of 50¢ per month if a liquor locker is desired."

**1958 June** Boring log prepared for expansion of kitchen and construction of new dining room at NE corner of building. 6 June 1958. First plans drawn up for "Additions and Modifications to Open Mess", showing a new dining room and extensive remodeling of kitchen wing. Former

dining room to become cafeteria-serving area.

**1958 June** 11 June 1958. Another set of plans with same title, but with major change: Dining Room is labeled "Future" and each sheet contains notation "Omitted Portion of Dining Room (Future Construction)."

**1958 July** 11 July 1958. Plans updated to show construction in two phases; Phase I to include remodeling of kitchen and converting former dining room into cafeteria, and Phase II to include construction of a new dining room. 22 July 1958. Army officially renames Quarters 1 "McDowell Hall" in honor of Major General Irvin McDowell.

**1959 August** 19 August 1959. Revised plans call for "Kitchen Demolition and Reconstruction", showing total replacement of historic kitchen and servants' wing. New construction to take place within the existing footprint.

**1959 September** 30 September 1959. "Dining Room Addition and Modification" plans, this time showing again both the new dining room and the kitchen modifications.

**1960 February** 1 February 1960. "Transient Dining Room, Bldg. No. 1, Fort Mason" plans. 12 sheets. Conservatory now labeled "Circle Room" and Library still "Library." (Plans reflect 2004 floorplan almost exactly.)

**1961 June** 6 June 1961. Drawing "Installation of Aluminum Doors." Double glass doors with fixed glass transom, with emblem of Transportation Corps etched/painted on transom glass.

**1967** "Alterations and Improvements to Ladies Lounge and Restroom." New toilet room added to south end of present room and intruding into the Social Hall/Ballroom. Also shows domed ceiling in main lounge room.

**1968 July** 18 July 1968. "Exterior Painting - Building 1, Fort Mason." Lots of notes to contractor, but no color specifications.

**1970 August** 13 August 1970. "Proposed Alterations, McDowell Hall." Lots of details such as electrical work, colors, etc. (currently unknown if this proposal was implemented)

**1971 May** 13 May 1971. "Replace Lawn Sprinkler System." Shows Officers Club lawn. No traces of previous formal garden beds.

**1974 April** 23 April 1974. "Renovation of Fort Mason Officers Club." Rebuild bar. New alumi-

num front doors.

**1981 June 8** June 1981. "Fort Mason Officers Club Renovation." 6 sheets. Extensive interior work including moldings, chair rails, wall treatments, light fixtures, etc. Social Hall called "Ballroom" and Circle Room "Cocktail Lounge." Pretty much reflects 2004 interior except for bar and bathrooms.

**1981 August 25** August 1981. "Reroof Cocktail Lounge Area of Officers' Club."

**1983 May** "Construct Store Room Fort Mason Officers Club." Located at NE corner of kitchen wing and adjacent to dining room. Includes other minor interior detail changes.

**1985 May 2** May 1985. "Replace Existing Food Serving Counter." Drawings reflect appearance and details of present cafeteria serving area.

**1985 August 29** August 1985. "Renovation of Officers' Club Bar." 8 sheets. Drawings reflect appearance and details of present lounge.

**1986 June** "Renovate Receiving Area Bldg 1 Fort Mason." Shows extension of enclosed receiving dock and refrigerator area at NW corner of kitchen. Drawings reflect appearance and details of present receiving area.

**1986 June 23** June 1986. "Renovate Bathrooms, Bldg 1." 12 sheets. Bathrooms on all floors (except kitchen wing) remodeled as "Victorian Design Bathrooms" with brass faucet and fixtures, pedestal sinks, pull-chain oak toilet tanks, etc. Illustrations included of fixtures. Drawings reflect appearance and details of present bathrooms.

**1995** "Fort Mason Officers Club Entrance Renovation" proposal. Shows front entrance reconstructed for accessibility by raising level of carriage drive to height of front door threshold. Not constructed.

**2003 January** Fort Mason Officers Club closes. Golden Gate NRA assumes responsibility for structure. First floor rooms rented out by Special Park Use Group (SPUG) for meetings and special events, but no kitchen service.

## Physical Description

*The Fort Mason Officers' Club is a two-story wood frame building with a 112'-6" wide x 176'-8" long footprint. The building was constructed in 1877 in the Italianate Style. The shapes and design features of the Italianate Style, which was popular in the United States between 1840 and 1885, were derived from the rambling Italian farmhouses and Italian-style villa architecture. The Italianate Style placed an emphasis on the vertical orientation of the building, as if someone was pulling the top of the building up, and as if the building was made of putty, as it stretched upwards, the windows and door frames became narrower and attenuated. Identifying features of this style include asymmetrical plans, low-pitched roofs, overhanging eaves with decorative brackets, tall, narrow windows, frequently with elaborate crowns, and cupolas or towers.*

The main façade looks southwest over the once barren hills to the Pacific. The exterior of the building that exists today shows evidence of many evolutionary periods, where changes in materials and finishes, window sizes and various other exterior attributes are clearly recognizable. From some views, the later additions to the building partially obscure the visual perception of the original commanding officer's home. However, from the west and south views, at the original driveway entry and building front, the main façade is strikingly simple and remarkably similar to early historic views of the building.

## Exterior Materials

### Summary

In general, the exterior of the building is in fair to good condition. Because of the building's continued public function and because of its prominent location at Fort Mason, the facility managers quickly addressed most exterior building issues. The 1877 historic core of the building is in good condition; the later additions, including the banquet hall, the dining room and the kitchen wing appear to be in fair condition. In the following sections, a brief description of individual exterior building features is presented.

### Wall Surfaces

The western (front) elevation is the most original



Upper photo: Detail of porte-cochere framing. (John Kalucki, 2002)

Lower photo: Light fixture in porte-cochere. (Lehman, 2004)

Photo at right: Front elevation of Officers Club. (Martini, 2004)





Upper photo: Historic chimneys on roof of main house. (Hagin, 2004)



Lower photo: South elevation of Library showing chimney with brick irregularities. (John Martini, 2004)

and significant core of the building and contains the most intact fabric from the original 1877 construction. The most significant wall feature of this building is the original wooden, horizontal lap siding, visible on the western elevations and at the 2<sup>nd</sup> floor of the three other elevations. At the western elevation, the lap siding is interrupted at 12'-6" by a decorative band of vertical drop siding and then again at the top of the second floor, at the decorative roof brackets. The historic siding on the front of the building is in good condition.

At the banquet hall, constructed in 1948, there is a different, slightly wider horizontal lap siding. At the dining hall, constructed in 1960, there is vertical wood siding.

### Foundation

The building has a concrete foundation; in some parts of the building, it is visible and appears to be in good condition. The foundation of the conservatory is exposed as the back of the house is built on a downward-sloping hill. This area of the building is founded on 11" square concrete piers of varying height with vertically oriented wood picket infill panels in good to fair condition. There is evidence of wood lattice under the lowest fascia boards in this area of the building. The foundation at the library is also visible, where there is an unusual concrete covered brick foundation wall, with screened basement vents at the ground surface.

### Roof

The most significant roof feature is the original 1877 roof of the core dwelling. The roof is almost entirely a low-pitched simple hip roof with eave

brackets and box gutters, and is in fair condition. The roof was probably covered originally with a cedar shingle; it is now covered with a red, three-tab asphalt shingles. The heavy framed carved wood brackets, tucked right up underneath the overhanging eaves, and the architectural box gutters are another identifying feature of the Italianate Style. The porte-cochere at the main entry is also covered with a small, hipped roof.

The banquet hall is covered with a hip roof that has hanging gutters instead of boxed gutters and is in fair condition. The eaves of the banquet hall roof are wide pine fascia boards and are in good condition. Flat, built-up roofs with a gravel wear course cover the remaining parts of the building. This flat roof-type covers the majority of the newer additions and slightly more than half of the overall roof area of the building. At the dining room, the eaves are composed of plywood and create a 2'-0" horizontal cantilevered overhang; the eaves are in fair condition with some areas needing repair or replacement.

### Chimneys

There are three brick, corbelled chimneys in the building, servicing the original dining room fireplace, the back-to-back reception hall/parlor fireplace and the library fireplace. The chimneys were reinforced during a project in 1993. The flues were relined and are now only operational for use with gas logs. The dining room chimney and the reception hall chimney are original to the building; the library chimney was constructed between 1922 and 1938. The chimneys are laid in a common bond (five courses of stretchers and one course of headers). The library chimney, also



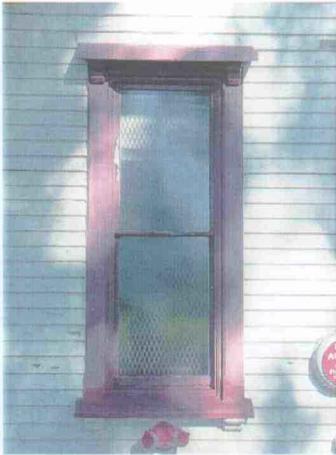
Upper photo: First floor roof at Bedroom 203. (Lerner, 2004)



Lower photo: Drainage problems between Library roof and Social Hall roof. (Lerner, 2004)

Photo at right: East elevation of Officers Club. (Lerner, 2004)





Upper photo: Typical original double-hung window. (Lehman, 2004)

Lower photo: Small decorative brackets supporting window sills. (Lehman, 2004)

Photo at right: The chevron-patterned hardwood flooring is clearly visible in this 1955 photo of the Reception Hall. (GOGA-2316)

laid in common bond, has an unusual undulating or wavy pattern. It is not yet known if this rippling pattern was intentional or a mistake in the brick-laying. The brick work is in fair condition with many areas needing repointing

### Windows and Doors

**Windows.** The predominant window style of a 2'-8" x 7'-2" wood-frame, double-hung, 1/1 sash window is original to the building and the most significant window feature. These windows, unusually tall and narrow, are accentuated with an overhanging eave and thick window sills with small decorative brackets. At either side of the front entrance, there is a pair of large 2-light 3'-0" x 10'-8" wood sash double hung windows with heavy, 8" wide painted, chamfered, wood trim. On the 2<sup>nd</sup> floor, at the rear (east) elevation, there is a bay window made of three of the 2'-8" x 7'-2" windows. Most of the glazing in the historic windows is original. The double-hung windows at the coatroom 106A have obscured glass.

The banquet hall windows are 3'-0" x 4'-6" fixed wood sash windows with 2'-0" x 3'-0" hospital light transoms and are in good condition. At the new dining room, there is a window wall composed of nine 4'-4" x 6'-0" single light fixed wood sash windows with awning window transoms 2'-2" tall at the top and having 3" wide wood mullions. These single-glazed windows are in good to fair condition.

**Doors.** There are no original exterior doors remaining on this building. The extant aluminum doors at the original front entrance were installed in 1974. At the banquet hall, there is a pair of wooden, 6-panel doors with a 2-light transom; at the back (east) elevation, there is a glazed door with a 1-light transom that leads out to the back lawn. There are utilitarian doors associated with the kitchen and service area.

### Trim

The 6" to 8" thick original wood trim at the doors and windows surrounds is the most significant trim feature. The windows have an overhanging eave and thick window sills supported by small decorative brackets. At the front entrance, the pair of two-light windows is surrounded by original painted wooden chamfered trim. Other door and window trim on the later additions is flat painted wood. In most cases, the wood trim and wood sash is painted and is in fair condition.

### Balconies, Railings, Stairs

The original porte-cochere on the front elevation is the most significant balcony-type feature. Roughly translated from "carriage door," a porte-cochere was designed as a porch roof projection over at driveway, usually at the main entrance of a building, to provide shelter for people getting in and out of their carriages or automobiles. A porte-cochere was an especially appropriate



feature for this building, as it ensured that the generals and their important visiting guests were not inconvenienced by the weather. The portecochere has thin, wooden chamfered posts with decorative cross beams and a shallow hipped roof. The concrete steps appear in historic photos from the 1920s and are possibly original to the front entry. The metal railings do not appear in any photographs prior to the 1970s.

Opposite the chair storage room (room 120) is a wood stair that leads to the roof creating a fire exit from the second floor of the core dwelling. This stair and exit-way is in fair to poor condition and does not conform to current building standards.

## Interior Materials

### Summary

In general, the interior building elements are in fair to good condition. Because of the building's continued use and occupancy, materials and features that became worn or deteriorated over time were quickly repaired or replaced. The historic 1877 core of the building still contains much of its original or early finishes and features and is in good condition. The building materials in the newer sections are also in fair to good condition. In the following sections, a brief description of individual interior building features is presented.

### Floors

The majority of the flooring in the Officers Club is covered with a heavy patterned wall-to-wall carpet. This carpet is in fair condition but does need cleaning. A 1955 photograph of the Reception Hall shows a chevron-patterned hardwood flooring that may still exist under the existing (see photograph). In the future, after the carpeting is removed, the extent of the chevron-pattern may be identified. The current coat room (room 106A) contains 2 ½" white hexagonal floor tiles from the room's original use as a bathroom.

Because this building functioned both as a commanding officer's quarters and as an officers club, small and large-scale public functions were frequently held here. As a result, the building experienced intense foot traffic. The building's historic maintenance reports routinely mention the need to paint, wax, oil and occasionally replace the wood floors, often at one to two year intervals. It is presumed that much of the original hardwood flooring is still extant.

Most of the extant floor covering on the first floor is either carpet, 6" x 6" ceramic tiling, 12" x 12" vinyl tiling or concrete. At the 2<sup>nd</sup> floor, the floors of the hallway and all six bedrooms are covered with carpet. The condition of the subflooring is not currently known. The upstairs bathroom floors are covered with 8" x 8" ceramic tiles which date from a 1980s remodeling. The closet floors still have their T&G hardwood exposed.

In the basement, the Rathskeller flooring is 6 ½" square wood tiles. The remainder of the basement flooring is either concrete or hardwood.

### Wall Surfaces

Walls on the 1<sup>st</sup> floor are predominantly painted or wallpapered flat gypsum wallboard. Most of the original or early plaster walls were replaced at some time with gypsum wallboard. The horizontal lath remains on most of the walls, but

the plaster has been removed, with the gypsum wallboard applied over the lath. While most of the walls are covered with a vinyl wall covering, they appear in good condition. Some walls in the kitchen areas are partially covered in 6" x 6" ceramic tiles or protective sheet metal, reflecting their commercial use.

Walls on the 2<sup>nd</sup> floor are either painted flat plaster, painted flat gypsum wallboard or in the case of the bathrooms, wallpapered flat gypsum wallboard with ceramic tiles. Modifications to the hallway are evident by inconsistencies in the plaster surfaces in the hallway and the bedrooms, at the corner of room 208, for example.

The Rathskeller room, in the basement, has unreinforced stone rubble wall, 11" vertical plank paneling, and exposed brick columns. The other finished walls in the basement are either painted or wall papered gypsum wallboard. The building's foundation is visible in both the boiler room and in the utilities room.

### Ceilings

Unlike the walls, many of the ceilings are still plaster, especially in the older parts of the building. The most significant ceiling features are the plaster rosettes located in the library (room 102), the reception hall (room 106), and the parlor (room 105). There are plaster crown moldings in these three rooms as well. The banquet room has 1' x 1' acoustic tiles adhered to the sheet rock. The dining room and the kitchen area have suspended acoustical tiles with exposed aluminum frames.

The ceilings on the 2<sup>nd</sup> floor are flat plaster. There are two 4-light skylights in the hallway ceiling and a ceiling scuttle in the fire exit hallway. The basement ceilings are either painted plaster, painted gypsum wallboard or acoustical tiles. There is exposed framing in the ceiling of the electrical closet and the utility room.

### Doors & Windows

The historic core of the house still contains some original doors, the most significant of which are the pair of 2-panel, wooden, pocket doors leading into the conservatory. These exceptionally large doors measure 48" x 118" each and still have their original 4-light glazing. In the reception room, there are two historic large 4-panel 42" x 106" wooden doors. At the library, there is an original 4-panel 36" x 81" wooden door, with light transoms. Elsewhere in the house, most of the doors are 32" x 80", hollow-core doors. Other than the transoms, there are no interior windows on the 1<sup>st</sup> floor.



Upper photo: Plaster ceiling rosette in Library. (Martini, 2004)



Lower photo: Brass hardware on Conservatory doors. (Martini, 2004)



Upper photo: Original pocket doors into Conservatory. (Martini, 2004)

Lower photo: Original style wood doors. (Martini, 2004)



Upper photo: Detail of plaster crown moulding in Library, 2004. (John Martini)

Lower photo: Main staircase in Reception Hall, 2004. (John Martini)

Most of the 2<sup>nd</sup> floor doors are original or early 4-panel, 36" x 82" wooden doors. There are a few 1-panel doors and hollow-core doors. There are no interior windows on the 2<sup>nd</sup> floor. The basement doors are either 2-panel or 3-paneled doors with screened vents at the bottom or 32" x 80" hollow core doors.

### Trim

The Officers Club contains three different types of trim. The first trim type is the original or early trim that was applied to the building during the period of significance (1877 – 1953). Original profiled baseboards are found in the library, the reception hall and the parlor. The original window and door casings in the library are profiled and appear in good condition. In the reception hall, there are original chamfered window casings. Two of the chamfered door casings in the reception room (the doorframes at the dining room and the women's room) are original, judging from the thickness of the paint and the worn edges of the trim profile.

At the 2<sup>nd</sup> floor, most of the bedrooms contain original trim, including profiled window casings, profiled window sills, chamfered door casings and 9" baseboards. Five of the bedrooms contain original chair rails and crown moldings. Room 205 (the Haskell Room) is an anomaly in that it contains a picture rail and no crown moldings. Originally, room 205 and the adjacent bathroom were three small rooms. The lack of decorative trim in these rooms may indicate that these rooms were originally used for aids or servants, and not family members or guests.

The second type of trim is a wood trim that was added later, probably between the 1960s and the 1980s, in an attempt to dress-up the rooms as more authentically and cohesively "historic." The chair rail in the library, reception hall, the parlor and the staircase area is not original to the building; it does not appear in photographs from the 1950s and was installed after the building's period of significance. The 2<sup>nd</sup> floor hallway contains a stained wooden chair rail that was presumably added at the same time. There are also chamfered door casings that were added later, presumably to mimic the existing original door casings. The chamfered door casings in the reception room, at the coat room (room 106A) and the closet (room 111), are slightly different from the original door casings and the profile is still sharp and well-defined, indicating fewer layers of paint. The banquet room (c. 1948) and the dining room (c. 1960) contain flat trim. The conservatory, while built during the period of significance (1877-1953), does not contain any chair rails or crown moldings.

The third type of trim is the thick, dark wooden trim that was added in 1980s in the women's room. The 1986 plans call for a "Victorian design bathroom"; the application of the bathroom's heavy wooden crown molding and baseboards again signals the army's interest in creating rooms that are easily recognizable as historic, even though the applied fabric is actually not.

### Fireplaces

There are four original fireplaces in the building, all located on the 1<sup>st</sup> floor. It is not yet known if they were originally wood-burning or coal burning fireplaces. In 1912 for heating purposes, gas mains were constructed to the building to all fireplaces and "gas logs" were put in each fireplace. There are no exposed fireplaces remaining on the 2<sup>nd</sup> floor or in the basement, although the original fireplace in Bedroom 204 is most likely still within the wall.

In the reception room and parlor, there are two central back-to-back fireplaces, which appear both on an 1884 annual building report and a 1911 floor plan. The reception room fireplace has diagonal wooden paneling, curved wooden brackets with a restrained classical design made of a subtle leaf motif, and black wood surrounds, painted to resemble tile. The parlor room fireplace has a wooden mantle piece with carved wooden, dagger-like projecting pieces in a tooled Scandinavian design. Glossy black tiles surround the hearth. Both fireplaces have bronze screens and bronze log posts.

The gray, marble library fireplace, installed after 1922, has marble surrounds, classical recessed panels, etched or carved designs in a loose Celtic motif and a metal coal box installed in the hearth. The fireplace in the serving area (originally the dining room) has experienced some modifications. The hearth was removed and a new brick surround was added after the period of significance.

### Staircases

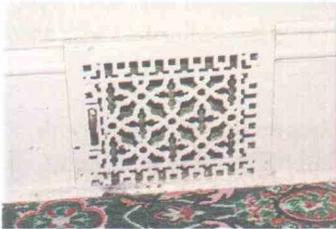
There are three staircases in the house. The extant central staircase, which leads to the second floor, has three runs and two small landings; 12" x 45" treads that are 1" thick; and the rise is 6 3/4". The railings are 1 1/2" x 1 1/2" with decorative, turned balusters. The main curved newel post is 37 3/4" tall. There is a wooden banister and a curved decorative wooden design applied to the carriage.

There is also a L-shaped staircase located under the central staircase that leads down to the basement. This staircase, built between 1948 and 1953, replaced an earlier staircase located in the



Upper photo: Library fireplace, 2004. (John Martini)

Lower photo: Parlor fireplace, 2004. (John Martini)



Upper photo: Decorative baseboard heating grate in Library, 2004. No longer in use. (John Martini)

Lower photo: Radiator in Bedroom 1, 2004. Still in use. (John Martini)

old kitchen area. When the new dining room was constructed in 1960, a third staircase, which was once exterior to the building, was renovated to connect the new dining room activities to the Rathskeller. All three staircases are currently carpeted.

#### Electrical Fixtures

There are no original light fixtures in the building. Most of the lighting fixtures in the public rooms are brass or glass chandeliers that were added after the period of significance. The lighting fixtures in the private rooms are brass candelabras and brass sconces. The utilitarian rooms are lit by fluorescent bulbs, incandescent cans or domes and bare light bulbs.

#### Plumbing

**Bathrooms** There are no original bathrooms or bathroom fixtures remaining in this building. The only remnants of original bathroom materials are the hexagonal floor tiles in room 106 (see Flooring Section). The bathrooms on all three floors were renovated in the 1980s with dark wood trim and all new fixtures and finishes. The service bathrooms in the kitchen are utilitarian.

**Kitchen** There are no remaining original kitchen elements. The original kitchen wing was demolished in the 1960s and replaced with an entirely new kitchen area. The new kitchen area, when constructed, appears to be confined to the same footprint of the original kitchen wing.

**Heating** The building was originally heated with coal-burning furnace and then later heated with a hot air system. There are decorative heating grates in the library (room 102), presumably from this hot air system. In 1909, steam heat was introduced and the first series of steam heat radiators were installed. In 1912, wall radiators were substituted for floor mount radiators. In 1931, the building received a new steam boiler with new oil burning equipment, providing a “Thrush” heating system for rapid circulation. New radiators were installed at this time and the simple, painted, metal radiators now on the 1<sup>st</sup> and 2<sup>nd</sup> floor are probably from this installation. The radiators in the bedrooms are covered with a decorative wooden cover.

Currently, the building is served by a hot water radiator heating system consisting of a gas-fired boiler with a 100-gallon storage tank, located in the basement mechanical room. The system was installed in 2003 and the radiators were reused from the earlier system. Domestic hot water is generated by a 75 gallon gas fired hot water heater, which is also located in the mechanical room.

**Fire protection** Almost every room in the building, including closets, contains a fire-sprinkler head. A few utilitarian spaces like the mechanical room, the garbage area and the chair storage room do not appear to be connected to the fire sprinkler system.

#### Appliance & Cabinetry

**Appliances** The kitchen appliances include an industrial range, a number of industrial ovens, a pizza oven, a fryolater, and an industrial dishwasher. The serving area contains movable serving containers and the walk-in refrigerator area contains 2 walk-in refrigerators and 1 6-door refrigerators. The condition of these appliances has not been assessed.

**Cabinetry** There is little cabinetry in the building. In the reception room, there is a buffet table top that was installed after the bathroom extension was constructed in 1922. The tabletop is a maroon marble-piece, probably from the top half of a mantelpiece, supported by a thickly-carved pilasters.

There are four decorative, painted wood “fretwork” pieces that hang over the doorway openings between the reception room and the parlor and at the openings to the conservatory and the dining room. The “fretwork” is referred to in a 1912 historic document where it is hung in the bay window of the original dining room. It is not yet known if that is the same decorative fretwork. The wooden fretwork at the opening to the banquet hall and the fretwork over the conservatory windows are not considered historic.

The bar in the Rathskeller was probably constructed in the 1940s, when the building was converted from a residence to an officers club. The wooden bar is wide L-shape, which stands 44” tall and 23” deep, with a brass pipe foot rest running the length underneath. Behind the bar is a half-size, 3-door refrigerator and a keg spigot. The counters are topped with plastic laminate. The conservatory bar, cabinetry, taps, etc. were installed in the 1960s.

#### Paint Finishes

**Methodology** A paint color investigation of the Fort Mason Officers Club was conducted in order to determine the paint color palettes represented in the library, the reception room, the parlor, the conservatory and bedroom 203 (the Moraga bedroom). Over 35 interior paint samples were obtained from walls, ceilings, crown moldings, baseboards, window casings, doors and door frames.



Upper photo: Decorative wood “fretwork” over an opening in the Parlor, 2004. (John Martini)

Lower photo: Rathskeller in basement, 2004. Brick columns are former piers for Conservatory foundation. (John Martini)

Historic floor plans were analyzed to help select the sample locations within these rooms. Samples were obtained from the oldest and/or least modified features in an attempt to get the greatest amount of paint layer information. Frequently, the same feature within the same room was sampled twice, but in a slightly different location, in attempt to avoid eccentric samples.

The samples were then viewed under a dissecting microscope and the individual layers were identified and cataloged. No chemical testing was conducted on the paint samples. When viewed under the microscope, the samples look like thin stacks of color, similar to a layer cake. The number of paint layers varies, depending on the type of feature. For example, crown moldings generally show less wear and tear over the years; because of their out-of-reach location, they were not routinely abraded by furniture or people. As a result, crown moldings were painted less frequently. On the other hand, a door casing in a busy public room would experience significant wear from foot and furniture traffic; as a result, this type of room feature would typically be painted more frequently. The fewest number of layers identified on a sample was nine or ten layers; the highest number of layers, found in a bedroom baseboard, was 20.

*Findings* The samples found in the Officers Club yield an amazing variety of colors, including seafoam green, robin's egg blue, mustard yellow, lipstick red, dark chocolate, bright brick red as well as requisite off-white, light cream and tan neutrals. On some samples, a brown stain or residue appears. It is not yet known if this layer is an applied brown varnish or a residue from exposure to tobacco and fireplace smoke. Due to limits on the scope of work, individual colors within each room can not be attributed to specific time frames; it is not yet possible to say, for example, that the "seafoam" colors were applied during the 1920s or that the "lipstick reds" only appeared after the building was converted into an Officers Club in 1943. While the interior of the Officers Club was painted frequently, probably at five to ten year intervals, no painting plans or specific documentation regarding the actual applied colors exists. With further analysis, it may be possible to assign a specific series of color palettes to a general time period, but that information is not available at this time.

#### **Library**

The library walls may have originally been layered with a wallpaper. The subsequent paint colors include pale cream, seafoam green, light mustard yellow, pale sage green, a robin's egg blue wallpaper, then a possible layer of gypsum

board covered with a blue-green wallpaper, then another layer of gypsum board finished with an off-white wallpaper.

The library ceiling was originally covered with an off-white paint layer. The subsequent paint colors include dark seafoam, light seafoam, two layers of cream, two layers of light tan and finished with an off-white paint layer.

The library crown molding was originally painted with a pale cream paint layer. The subsequent colors include off-white, gold (not yet determined if this layer is gold leaf or a gold-type of paint), pale seafoam and finished with an off-white paint layer.

The library baseboard may have been originally painted light green. The subsequent paint colors include light gray, robin's egg blue, pale celery green, light tan, a layer of residue or stain, white, pale yellow cream, brown, light cream, two layers of dark brown and finished with an off-white paint layer.

The library window sills were probably originally stained or painted a light brick redish-brown. The subsequent paint colors include light tan, pale celery green, dark brown stain, robin's egg blue, medium light tan, cream, very light tan, seafoam green, dark brown and finished with an off-white paint layer.

The library window sash's first layer was off-white. The next colors were cream, light tan, seafoam, medium brown, dark brown and finished with an off-white paint layer.

The first layer on the door casing was robin's egg blue. The next layers include a pale gray, light tan, light celery green, off-white, dull brick brown, light robin's egg blue, pale mustard yellow, light seafoam, deep brick red, dark chocolate brown and finished with an off-white paint layer.

#### **Reception Room**

At some point in time, the original plaster walls in the reception room, which were no doubt showing their age, were removed and replaced with gypsum board. It has not yet been determined when the gypsum board was installed. Most of the paint samples obtained from the walls in the center of the reception room contain fewer layers of paint as they were applied over the later gypsum board. The wall sample below the chair rail, just outside the women's room, was first covered with wallpaper. Then subsequent paint colors include yellowish-cream, light seafoam, light tan, white and finished with an off-

white paint layer. The wall sample taken from the right of the fireplace begins with an off-white layer. The next colors are light tan, seafoam green, off-white, shiny green-white layer that is possibly residue or wallpaper glue, and finishes with two layers of off-white.

The reception room ceiling was probably first covered with a light tan paint or paper color. The subsequent colors are off-white, medium tan, light tan, medium seafoam, medium tan, off-white, cream, off-white, cream and finished with an off-white.

The first layer on the reception room crown molding is a pale brick red. The subsequent layers are a layer of stain or residue, pale salmon, pale rose, medium tan, cream, medium tan, very light tan, pale seafoam green, pinkish-tan, very light tan, light tan and the finished layer is off-white.

The first layer on the reception room baseboard is a light tan. The subsequent paint colors are seafoam green, lipstick red, light tan, dark brown, a shiny layer or tan stain or residue, light tan, rosy salmon, lipstick red, dark brown and finished with a layer of off-white.

The window sill sample is taken from the front of the room (technically this is room 106B).

The first layer is light tan, followed by lipstick red, dark steel gray and finished with two layers of off-white. The window casing's first layer is medium brick red, followed by a layer or shiny green-black dirt or residue, seafoam green, light tan, off-white, lipstick red and finished with off-white.

The reception room door casing was probably first covered with a shiny brown stain. The subsequent layers are pale pinkish tan, a layer of shiny brown stain or residue, light tan, another layer of shiny brown stain or residue, dark brown, very dark brown and finished with two layers of off-white.

### **Parlor**

As with the reception room, the original plaster walls in the parlor was also removed and replaced with gypsum board. The wall samples from the parlor have relatively few paint layers, as the original paint layers were removed with the original plaster. The first paint layer on the wall sample is medium tan. The subsequent layers are medium teal, pale seafoam, cream, medium tan, brown stain, off-white, a layer of wallpaper, and then finished with a layer of off-white.

The parlor ceiling has 16 layers of paint on top

of plaster. The first layer is a pale blue gray color. The next subsequent layers are light tan, layer of residue or stain, medium tan, layer of residue or stain, off-white, light tan, light mustard brown, medium tan, medium teal, pale seafoam, medium tan, very light tan, and then finished with two layers of off-white.

The parlor door casing sample was taken just inside the wide opening between the reception room and the parlor, on the right-hand side. The first layer is pale seafoam; the subsequent layers are pale brick brown, medium tan, a layer of shiny brown stain or residue and finished with an off-white paint layer.

### **Conservatory**

The conservatory pocket doors contain 14 layers of paint with the first layer being a pale cream. The subsequent layers are two layers of seafoam, medium brick red, off-white, pale brick orange, a shiny brown layer or either stain or residue, off-white, two layers of cream, off-white, dark chocolate brown, medium redish-brown and finished with two layers of off-white.

The first paint layer of the door casing is white, then followed by pale cream, off-white, dark chocolate brown, a flat gray brown, a light brick brown and finished with glossy white.

### **Bedroom 203 (Moraga)**

There is evidence that the original plaster walls still exist within the bedrooms. The first two layers on the plaster walls in the Moraga room are an off-white color. The subsequent layers are a wallpaper fiber, seafoam, pale pink, flat gray, pale pink, seafoam, off-white and finished with a glossy off-white.

The first two paint layers at the crown molding in the Moraga ceiling are off-white, followed by pale seafoam, off-white, flat gray, light tan, white, off-white and finished with a glossy off-white.

The bedroom baseboard contains 20 paint layers. The first paint layer, directly on the wood, is a pale brown stain or varnish. The next six subsequent layers are off-white, pale gray, two layers of cream, pale seafoam, white, flat gray, off-white, pale pink, medium seafoam, pale seafoam and finished with two layers of off-white.

The bay window casing contains 16 paint layers. The first paint layer was probably a brown stain or varnish, followed by white, 3 layers of off-white, dark cream, medium cream, robin's egg blue, 2 layers of off-white, pale gray, off-white, pale pink, pale seafoam, white, off-white and finished with glossy white.

The first 6 paint layers on the door are off-white, followed by cream, dark tan, off-white and finished with glossy off-white. The door casing contains 17 layers of paint; the first 6 layers are light cream, followed by seafoam, medium tan, off-white, pale pink, 6 layers of off-white finished with glossy off-white.

# Structural Assessment by Degenkolb Engineers

*The Ft. Mason Officer's Club was originally built as the residence for the Commanding General about 1877. It was converted to an Officer's Club about 1948 following World War II and new wings were added to the north and south, leaving only the central portion, the original construction, as the truly historical portion of the building.*

## **Description of Existing Condition**

The original portion of the building, constructed about 1877, is the central two story portion of the building. It contains a partial basement and a one story "Library" attachment to the south which may have been built slightly after the original construction.

The basement walls and foundation walls of the portions of the original construction with crawl spaces were constructed of unreinforced stone masonry with some areas being of brick masonry construction. The areas of these walls that were visible on our site inspection appeared to be in good condition with reasonably hard and sound mortar and only minor cracking. These unreinforced basement walls have served as retaining walls for 125 years but show no visible signs of distress nor inward movement. Interior brick masonry piers have loose sandy mortar and need repointing.

The two story structure above grade is of wood frame construction with studs and straight sheathing. The floors have diagonal sheathing on wood joists. A view into the attic reveals high quality virgin redwood lumber. Plywood sheathing is visible above the original 1x straight redwood roof sheathing, undoubtedly added during reroofing. The walls were originally plaster on wood lath but recent investigation has revealed that most or all of the original plaster has been removed with gypsum board sheathing installed over the original wood lath. This has significantly reduced the seismic resisting system of the building. There do not appear to be any anchor bolts connecting the wood framed construction to the unreinforced masonry basement and foundation walls. The original balcony or porch to the rear (or east) has been expanded and enclosed in recent years and consists of a single story wood frame on concrete pilasters and foundations which are assumed to be reinforced.

The original portion of the building contains three brick chimneys, presumably all unreinforced. Two appear to be original while the chimney and fireplace in the Library may have been relocated at some time from the wall common to the Library and the rest of the original

construction. We assume these chimneys are not reinforced. The stairway to the Second Floor also appears to have been relocated.

A Banquet Room was added to the south behind the Library about 1948 shortly after the building was initially converted to an Officer's Club. No drawings are available for this addition but it appears to be of wood framed construction with reinforced concrete foundations and foundation walls. The floor of this Banquet Room has settled 1 to 2 inches immediately adjacent to where it joins the original construction to its north. This could be due to backfill settlement behind the original basement wall or cracking and inward movement of the original unreinforced masonry walls in this area. Verification of the cause of this settlement would be warranted, since the original masonry basement wall is concealed behind a furred finish wall.

The Kitchen area, to the north of the original construction and in the front of the building was completely rebuilt about 1959. Drawings are available and indicate new reinforced concrete foundations and one story wood framed construction with plywood sheathing.

A one story Dining Room was added to the rear of the Kitchen (north of the original building) about 1960. Drawings are available for this construction and indicate reinforced concrete foundations and wood framed construction with several structural steel roof beams spanning the open Dining Room.

## **Conclusions and Recommendations**

The building has survived for 125 years and shows no signs of structural distress. It may have experienced wall cracking and other issues historically since most or all of the original historic plaster wall finish has been removed. Some deterioration may exist in the kitchen area, but the structural members generally appear sound from a brief inspection.

To insure that there is not concealed structural distress and to bring the historical portion of the building into general conformance with the California State Historical Building Code, we recom-

mend the following actions:

1. Investigate the structural integrity of the concealed basement wall adjacent to the 1948 Dining Room addition. Correct any distress and add floor fill as needed to level the floor and avoid a tripping hazard.
2. Check all unreinforced masonry basement walls and strengthen any that are cracked or show signs of distress. This will require inspections behind existing basement furred walls. These walls unstrengthened will not meet modern standards but if undamaged they have passed the “test of time” and can remain in use. The brick masonry piers in the basement need repointing.
3. Add a new reinforced concrete bond beam at the top of the existing unreinforced masonry basement and foundation walls including new bolts to the existing wood framed construction above.
4. Anchor the brick chimneys to the roof and floors and reinforce the cantilever portion of the chimneys above the roof line for seismic resistance.
5. When interior walls with gypsum board are refinished, add plywood beneath the gypsum board finish within the historic portion of the building. Walls which are still plaster on wood lath can remain.

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# Mechanical and Electrical Assessment by Gayner Engineers

*The purpose of this document is to report Gayner Engineers' findings on the existing mechanical and electrical systems of the Officer's Club at Fort Mason, San Francisco, based on their August 25, 2004 field observation.*

*The building consists of two stories and a basement. The original building was built over 100 years ago and there were numerous renovations and additions over the times.*

## **Description of Existing Condition**

### **Plumbing and Fire Protection Utilities**

Most of the main building utilities, such as fire sprinkler main, building sewer, gas main, and water line are located in the basement Utility Space, Room 11. The gas meter and regulator are located inside the building, which reduce the incoming pressure down to 8" w.c.. There is a spare meter and capped line for future connection. The water main is located at the north-west crawl space at Office, Room 9. The main is a 1-1/2" copper header and routes around the utility space between the building footings and interior walls.

### **Heating Hot Water Generation and Domestic Hot Water System**

The basement Tap Room and the 2<sup>nd</sup> floor guest rooms are served by a heating hot water radiator system. The system consists of a 270 Mbh gas fired boiler, a 100 gallon storage tank, a plate and frame heat exchanger, a circulating pump, a distribution piping system, and wall mounted radiators. The system was recently installed and the radiators were reused from the original construction. The boiler system is located in the basement mechanical room. Domestic hot water is generated by a 75 gallon gas fired water heater, which is also located in the same mechanical room. It seems that this is the only operational water heater serving the entire building, including all the bath rooms in the 2<sup>nd</sup> floor and the kitchen.

### **Ventilation System**

The basement is not ventilated. There are not windows open to outside. The basement Men's Room is ventilated by a small wall mounted exhaust fan. The room is extremely stuffy.

The first floor dining room, and the kitchen serving area are served by a heating and ventilating unit, which is located at the North Mechanical room in the food storage area. The unit is a built-up system with an air handling unit, two

duct furnaces, mixing box, and a ductwork distribution system. The system is not operational, which means that those spaces that are served by the unit are not ventilated. There is also an abandoned gas fired domestic water heater in the first floor mechanical room. The conservatory and banquet room on the first floor is served by a separate air conditioning unit located in the crawl space underneath the conservatory. The unit was recently installed and is in fair condition. Most of the rooms at the perimeter of the first floor have operable windows. However, there is no heating provision to these rooms. It seems that the intent is to use the existing fire places to warm the parlor and library during winter.

The kitchen is served by an island overhead grease hood. The grease hood is equipped with an Ansil fire protection system. The exhaust system for the dishwasher is disconnected. There is no makeup air provision for the kitchen exhaust. It seems that the original design was relying on pulling air from the dining room and other spaces for exhaust makeup.

The second floor is predominately for guest rooms. Each of the guest rooms is served by a floor mounted hot water radiator and ventilated by operable windows. Each of the bath rooms is only ventilated by a roof vent without a mechanical exhaust.

### **Fire Protection System**

The entire building is protected by an automatic fire sprinkler system. The fire department connection and alarm bell are located at the east of the entry.

### **Storm Drain Systems**

The roof is drained by architectural gutters. The catch basin is located in the food storage area. It is not clear whether the catch basin is connected to the building sewer system or a separate storm drain system.

### **Sewer and Vent System**

The building main sewer is located at the basement utility room. There are two grease separators located underneath two dishwashing sinks in the kitchen. The existing sewer system consists of cast iron, galvanized steel, and copper pipes.

### **Electrical system**

Power is supplied by a 75 KVA service transformer via 400 Ampere main disconnect switch and metering compartment. The service transformer is rated at 2400 V-120/240 V, single phase. All service equipment is located at the exterior of the building. Two service taps from the metering compartment feed main panelboards located in the basement. The main panelboards feed branch panels and individual electrical loads at basement, first and second floors.

There is no emergency power system. Emergency lighting is provided by battery operated emergency units.

### **Fire Alarm system**

Main Fire Alarm panel is Radionics Model # D7024 located in 1<sup>st</sup> floor storage room 120. Fire Alarm annunciator is located at 1<sup>st</sup> floor main lobby.

Manual pull stations and horn/strobe units are located throughout the building. There are also heat detectors in several areas.

## **Issues and Recommendations**

### **Heating Hot Water System:**

The heating hot water radiator system was installed recently and is fully functional. The system shall remain to serve the 2<sup>nd</sup> floor guest rooms and the basement Tap Room. New radiators can be installed for the perimeter rooms on first floor, which currently do not have any heating provision. The 2<sup>nd</sup> floor existing radiators should be examined to determine whether there is any lead paint on the surface. All radiators should be refurbished and provided with new temperature controls.

### **Ventilation System:**

Provide new exhaust fan to serve the basement Men's Room. Provide new gas fired makeup air system for the kitchen exhaust system. The unit shall have stainless steel furnace for 100% outside air provision. Replace the existing kitchen grease exhaust fan with new UL 762 listed grease exhaust fan. Replace existing first floor ventilating and heating unit at the north-west mechanical room. Replace existing ductwork with new insulated ductwork per Title 24 requirement. The Owner should consider to provide air-con-

ditioning to 2<sup>nd</sup> floor guest rooms if it is desired by the tenant.

### **Plumbing Systems:**

A separate domestic hot water heater should be installed for the kitchen only. The existing domestic hot water system should be renovated to include a new return line for the 2<sup>nd</sup> floor bath room. Provide another domestic hot water heater to increase the capacity of the domestic hot water system. The 75 gallon might not be adequate for morning time if all the guest rooms are occupied.

### **Service transformer:**

The existing 75 KVA service transformer will not have adequate capacity when kitchen is in operation and the building is at full occupancy. According to Presidio Trust High Voltage Shop supervisor Robert Malaca, this transformer also feeds another nearby building, which further diminishes its capacity. Furthermore, according to Robert, the transformer primary and one of the secondaries are installed in the same manhole, which is a Code violation and creates very hazardous conditions for maintenance personnel.

Robert Malaca is currently working on the upgrade of Fort Mason 2400 Volt loop. We recommend replacement of the transformer to increase its capacity during power shut down associated with that work.

### **Electrical service feeders and panelboards:**

Two service taps from the metering compartment feed 300 Ampere and 200 Ampere service panelboards located in the basement. These taps exceed 25 feet in length and are missing overcurrent protection required by NEC 240-21. Also, these taps enter basement through a large opening, which is not filled. Working space around 300 Ampere service panelboard is in violation of NEC 110-16: there is no sufficient clearance in front of the panelboard and the floor area is not level. Both service panelboards are lacking permanent plaques referencing "the other service(s)" as required by NEC 230-2.

200 Ampere service panelboard is missing main circuit breaker.

There is no visible evidence of the building service grounding. Grounding system needs to be verified and tested per NEC 250.

### **Electrical distribution:**

The majority of the existing feeders and branch circuits throughout the building are installed in flexible metallic conduits. Spot check revealed that there are missing ground wires. Separate

ground wires must be added to all flexible conduits per NEC, Article 350.

**Fire Alarm System:**

Horn/strobes must be added in some areas to provide full coverage in compliance with NFPA-72. For instance, strobes in all bathrooms, additional horns/strobes in the kitchen, dining room, banquet room, etc.

Manual pull station in the lobby is located more than 5 feet from the main entrance in violation of NFPA-72.

The capacity of the main fire alarm panel is limited. If it needs to be relocated or expanded to add more horns/strobes, new fire alarm panel may be required due to current CSFM listing issues.

# The Secretary of Interior Standards for Rehabilitation

The Standards (*Department of Interior Regulations, 36 CFR 67*) pertain to historic buildings of all materials, construction types, sizes and occupancy, and encompass the exterior and interior, related landscape features, and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

## **HISTORIC USE**

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.

## **HISTORIC CHARACTER**

2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

## **PHYSICAL RECORD OF TIME**

3. Each property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

## **CHANGES OVER TIME**

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.

## **DISTINCTIVE FEATURES**

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

## **REPAIR RATHER THAN REPLACE**

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

## **GENTLE CLEANING TREATMENTS**

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

## **ARCHEOLOGY**

8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

## **ADDITIONS & NEW CONSTRUCTION**

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

## **REVERSIBILITY OF CHANGES**

10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

# Treatment Recommendations

*These treatment recommendations are prepared to guide designers and users of the Officers Club in the future treatment and use of this historic building. These are not prescriptive requirements, but meant to be an aid in the preparation of architectural documents. All proposals for changes or modifications to the building must be submitted to the Golden Gate National Recreation Area's Preservation Assessment Committee, the Park's historic review group, for review and approval.*

Perhaps the most important step in reusing an historic building is identifying the features that are important to that building. Once important features are identified, every effort should be made to preserve and maintain these features during subsequent building improvements.

In general, improvements and alterations should be additive in nature. When possible, existing historical features should not be removed but retained in place and improvements added to the existing conditions. Identified below are major character-defining elements and significant spaces. While these represent the most historic elements in the building, all of the building elements have acquired a significance in their own right (Standard #4) and should be maintained and preserved when possible.

## **Major character-defining exterior elements should not be changed:**

- Shape of the building and roof form. Hipped roofs with deep overhanging eaves and Italianate brackets. Brick chimneys.
- Porte-cochere and circular driveway.
- Window pattern and proportions.
- Horizontal siding on historic core.

## **Significant and Very Significant interior spaces and elements that are very sensitive to change:**

- Entry
- Reception Hall - includes fireplace, main staircase, trim and grille work over doors connecting the reception room and the parlor.
- Parlor - includes fireplace, trim, grille work over two doorways, large pocket doors to Conservatory.
- Conservatory - includes fenestration pattern.
- Library - includes fireplace and trim.
- All upstairs bedrooms

## **Maintenance and repair recommendations in the following reports should be carried out:**

- Comprehensive Assessment by AME/BAH
  - Deferred Maintenance report
- System Assessment Report by Gayner Engineers
  - findings on the existing mechanical and elec-

trical systems.

- Structural Report by Loring Wylie
- Exterior Condition Assessment

## **ACCESSIBILITY AND LIFE SAFETY ISSUES**

### **Main Entrance**

The main entrance to the building has some life safety, accessibility, and traffic flow problems. The floor level of the main building is approximately 1 foot above the level of the driveway running through the porte-cochere. There is not enough space to create code-required steps or a ramp. The current solution results in an awkward step with a railing that actually impedes egress from the building. The existing wheelchair accessible entrance is via a brick path leading to double doors into the Banquet Room.

Entry and egress for the building needs to be studied. Several alternatives need to be developed along with costs in order to determine the most appropriate solution. Accessibility options should include modifications to the existing grade or use of equipment, as well as studying a new location for the entrance. The building has served as location to host important events throughout its 130 year history and will continue to do so in the future. Preference will be given to options that preserve the historic arrival experience to the building.

### **Vertical Circulation**

In order to adapt a building for reuse it is desirable to have all of its floors accessible. The Officers Club should have an elevator in order to make all of the floors handicap accessible, in addition, if the second floor is to be used the egress requirements should be studied. If an elevator is to be installed it should be located outside the Significant and Very Significant areas, in order to minimize impact to the historic core. At least three alternatives should be studied for the placement of the elevator and stairs. Two locations as proposed by NPS and one additional location of the consultant's choosing.

**Restrooms**

Currently the Women's restroom is located on the first floor and the Men's restroom is located in the basement. This arrangement does not meet accessibility requirements. Converting 103B into a unisex handicap accessible stall is an acceptable short-term solution, but should not be considered for a period of longer than one year. In the longer term an equal Men's room should be considered for the area encompassing Closet 111, Liquor Locker 112A, and Hall 109.

With the primary restroom facilities on the main floor, it would be possible to have individual Men's and Women's rooms in the basement to serve the smaller areas there.

# Paint Color Recommendations

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## *Suggested Interior Paint Palette for Fort Mason Officers Club*

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The following paint colors are the suggested historic colors for any future interior painting in the Officers Club. These colors represent the most-frequently found colors at the Fort Mason Officer Club, although it is not yet known when these colors were applied or how the walls and the accents were coordinated together. The preservation treatment designated for the Officer Club is *rehabilitation*, which takes into consideration all of the building's time periods, instead of *restoration* which only recognizes one specific time frame.

These paint samples were matched with Benjamin Moore Classic Colors paints for color reference. The base colors, mostly found on public and private walls, ceilings and the trim, should

continue to be used on walls, ceilings and trim. The accent colors, historically used on both the walls and the trim, should continue to be used to provide an accent of color. The seafoam and robin's egg blue are found in both public and private rooms; the pink color was only found in the Moraga bedroom. The brown trim colors were only found on the 1<sup>st</sup> floor trim and should continue to be applied only there. From photographs, it has been confirmed that the brown trim colors, probably part of the 1981 redecoration plan, were coordinated with tan, cream and off-white walls.

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### *Base Colors – to be used on walls, ceilings and trim*

<b>Sample color</b>	<b>Best Match *</b>
Cream	San Mateo Beaches # 924
Light Tan	Harvest Time # 186
Off-white	Cloud White # 967

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### *Accent Colors – to be used on walls and trim as accent with the base colors*

<b>Sample color</b>	<b>Best Match *</b>
Seafoam	Nottingham Green # 569
Robin's Egg Blue	Oceanfront #660
Pink	Blushing Brilliance #009

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### *Trim Colors – to be used on 1<sup>st</sup> floor trims only*

<b>Sample color</b>	<b>Best Match *</b>
Dark Chocolate Brown	Fresco Urbain # 1253
Medium Brown	Wynwood # 1231

---

\* These paint samples were matched with Benjamin Moore Classic Colors paints for color reference

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Presidio Army Museum Negative collection (GOGA-35256)

GOGA Interpretation photo collection (GOGA-2316)

TASC Negative collection (GOGA-2216)

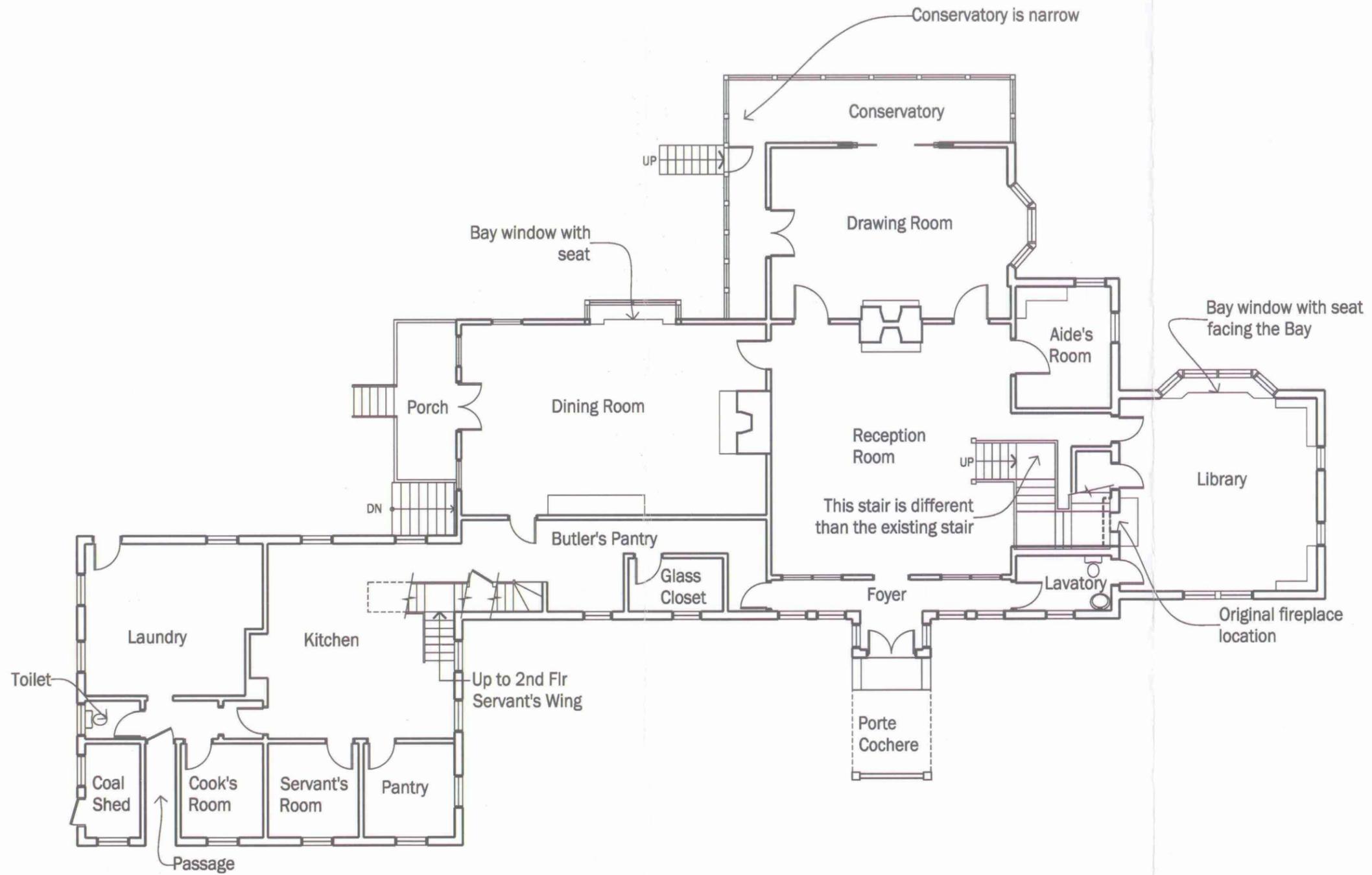
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Photograph, "DPW 6134", 14 January, 1919 in Department of Public Works.

Photograph, "Century old Quarters No. 1 at Fort Mason Gets New Name", 22 July, 1958.

**Appendix A**  
*Floor Plans and Site Plans*

# Fort Mason Officer's Club HSR Building Evolution Illustration Drawings

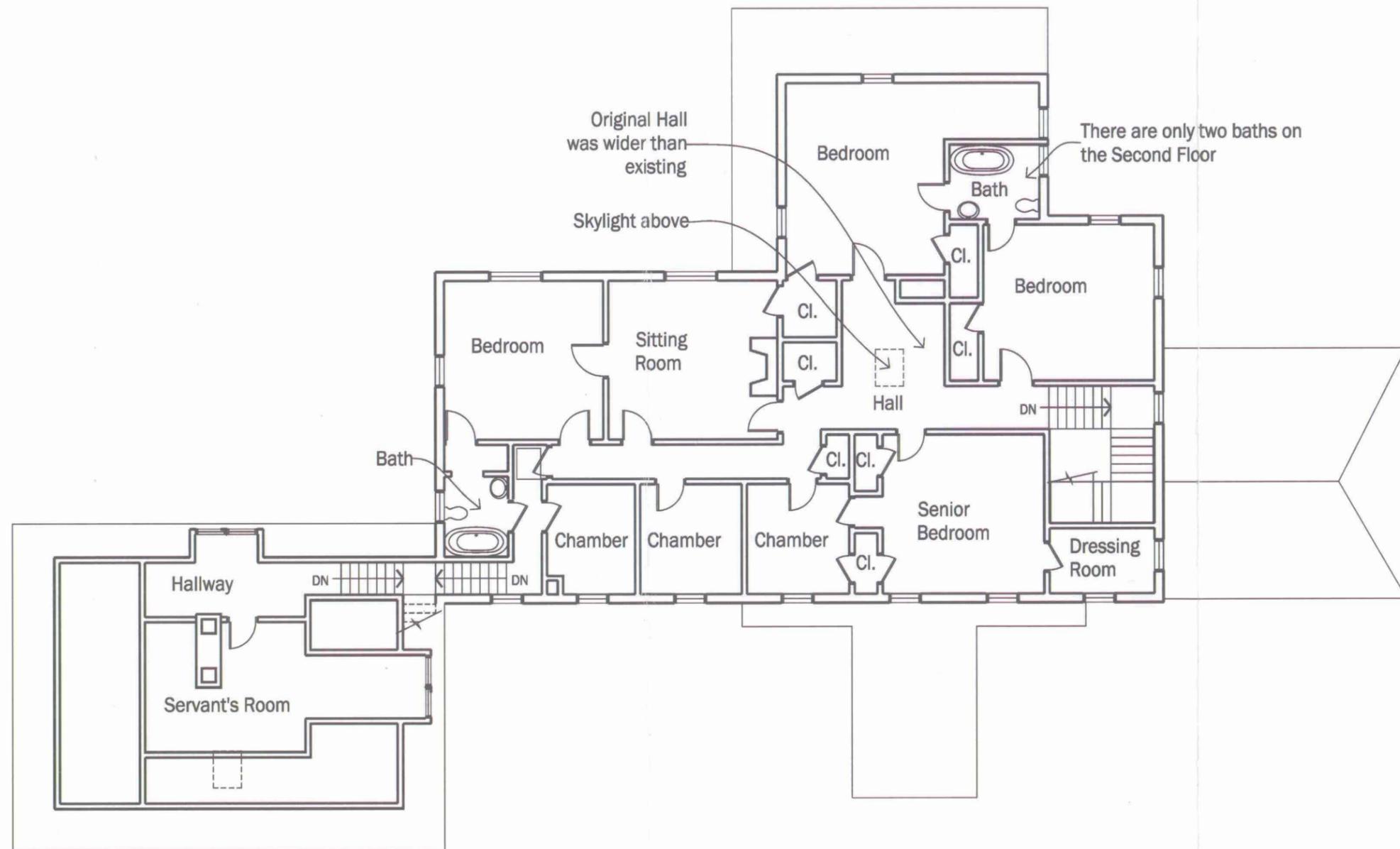


FIRST FLOOR PLAN ca. 1884



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.

Fort Mason Officer's Club HSR  
 Building Evolution Illustration Drawings

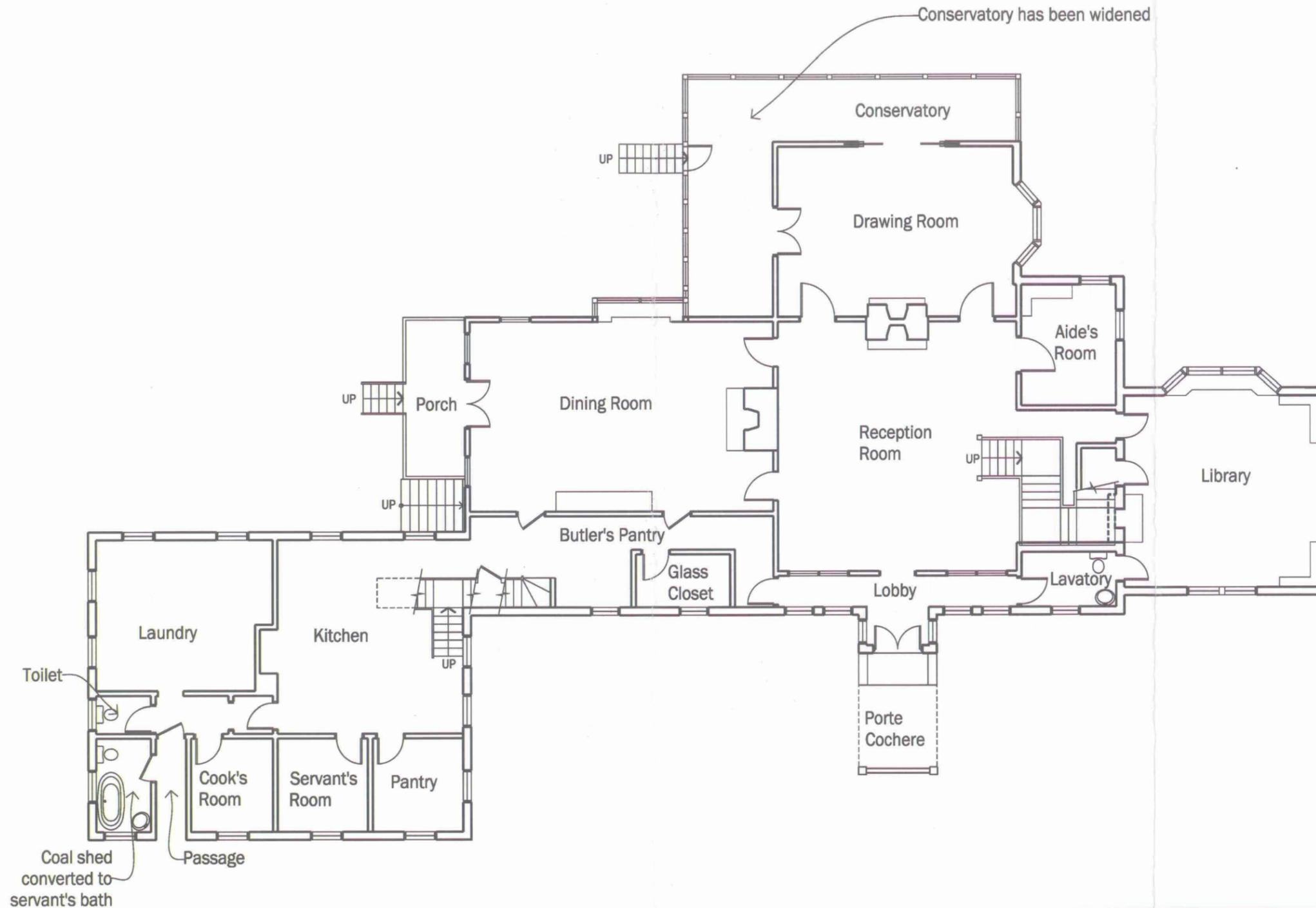


SECOND FLOOR PLAN ca. 1884



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.

Fort Mason Officer's Club HSR  
 Building Evolution Illustration Drawings

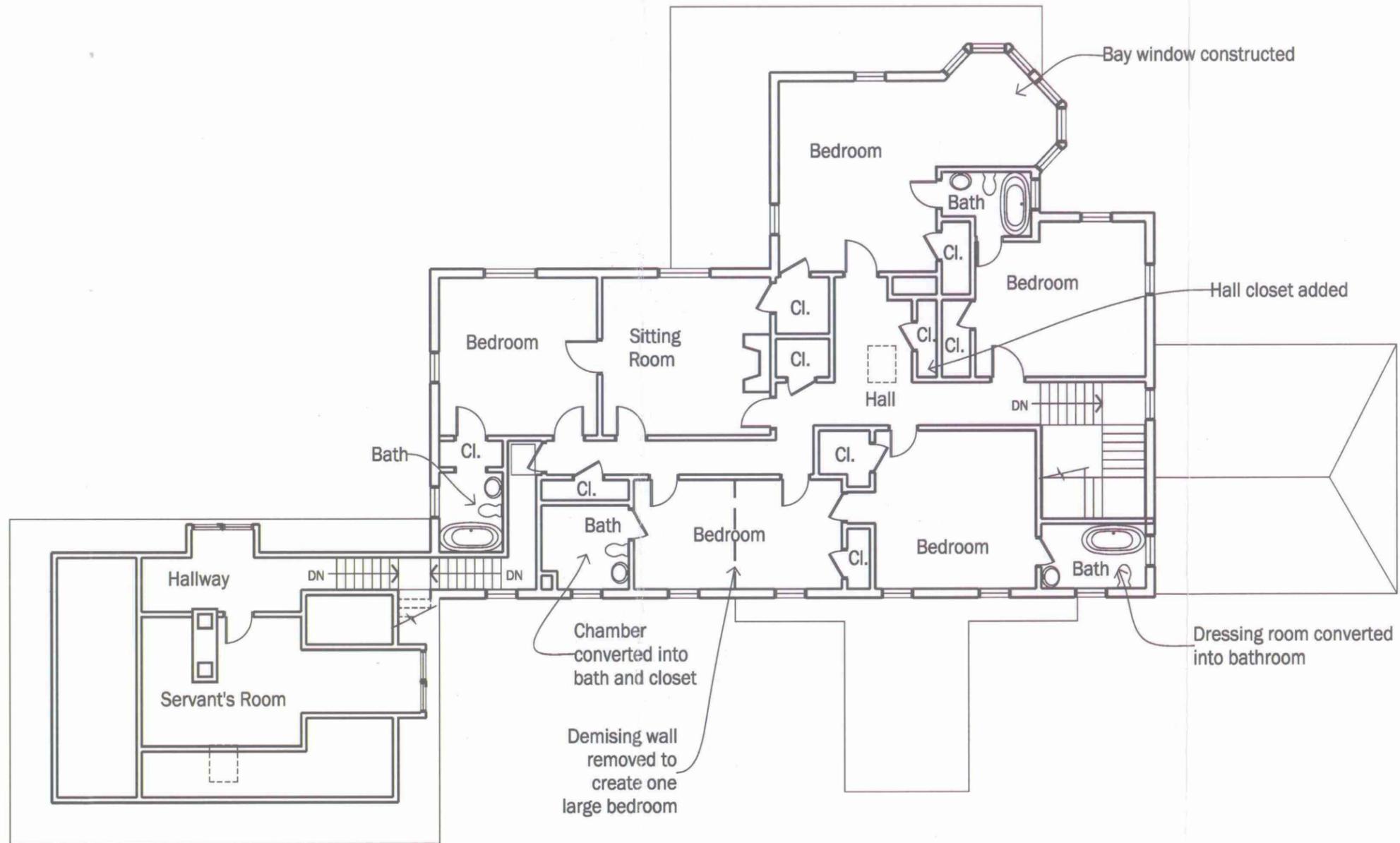


FIRST FLOOR PLAN ca. 1912



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Fort Mason Officer's Club HSR  
 Building Evolution Illustration Drawings

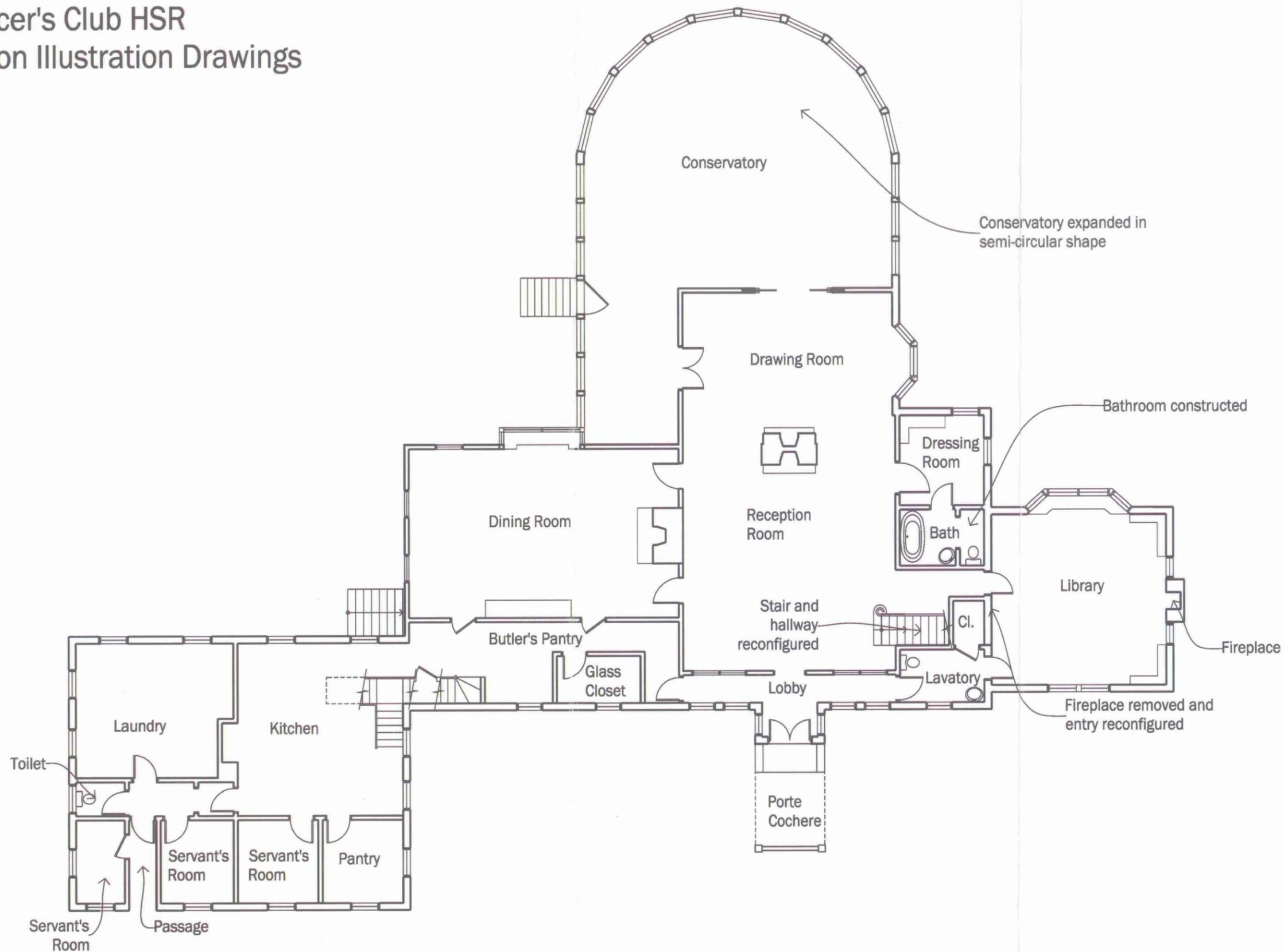


SECOND FLOOR PLAN ca. 1912



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# Fort Mason Officer's Club HSR Building Evolution Illustration Drawings

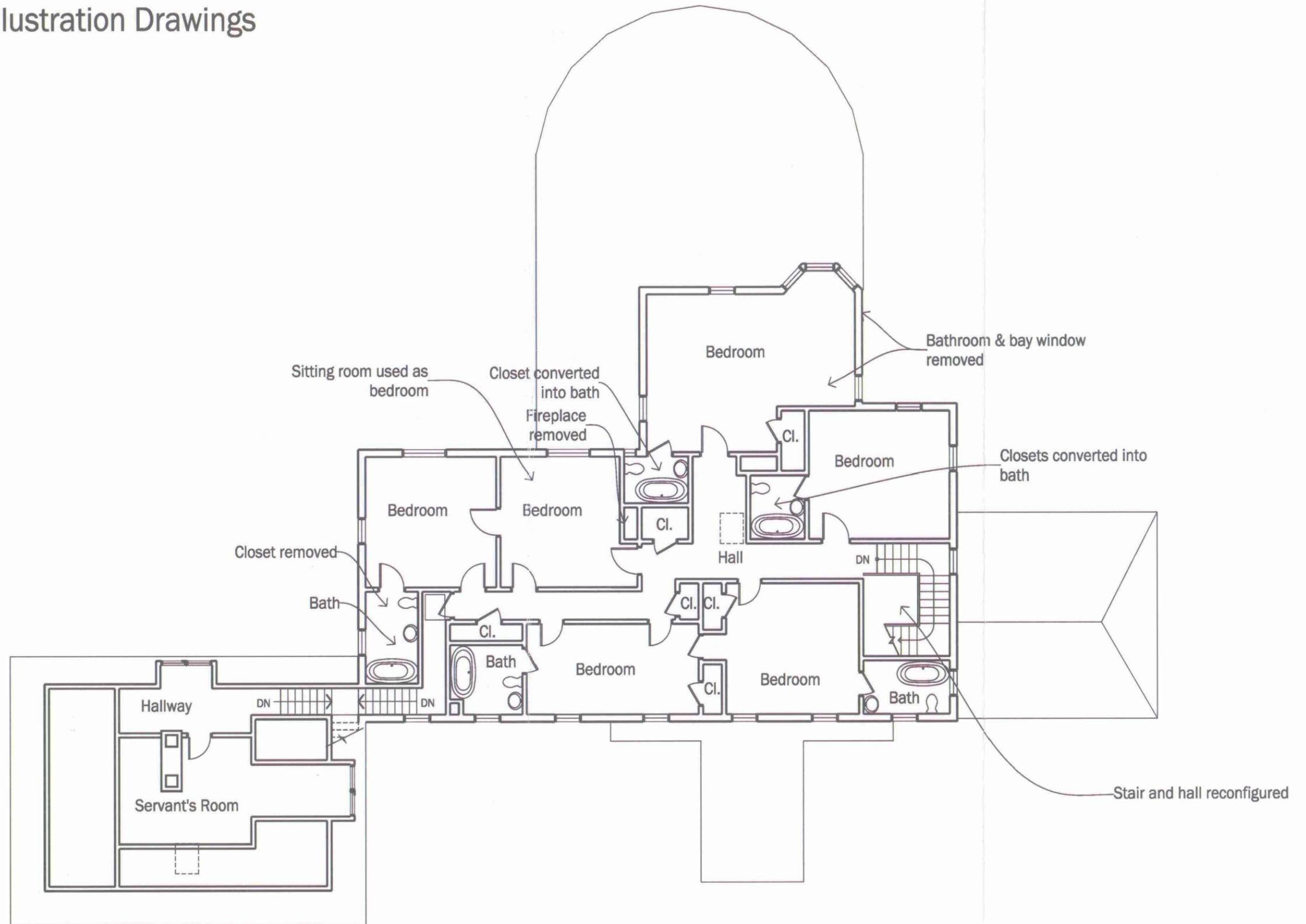


FIRST FLOOR PLAN ca. 1922 to 1938



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Fort Mason Officer's Club HSR  
 Building Evolution Illustration Drawings

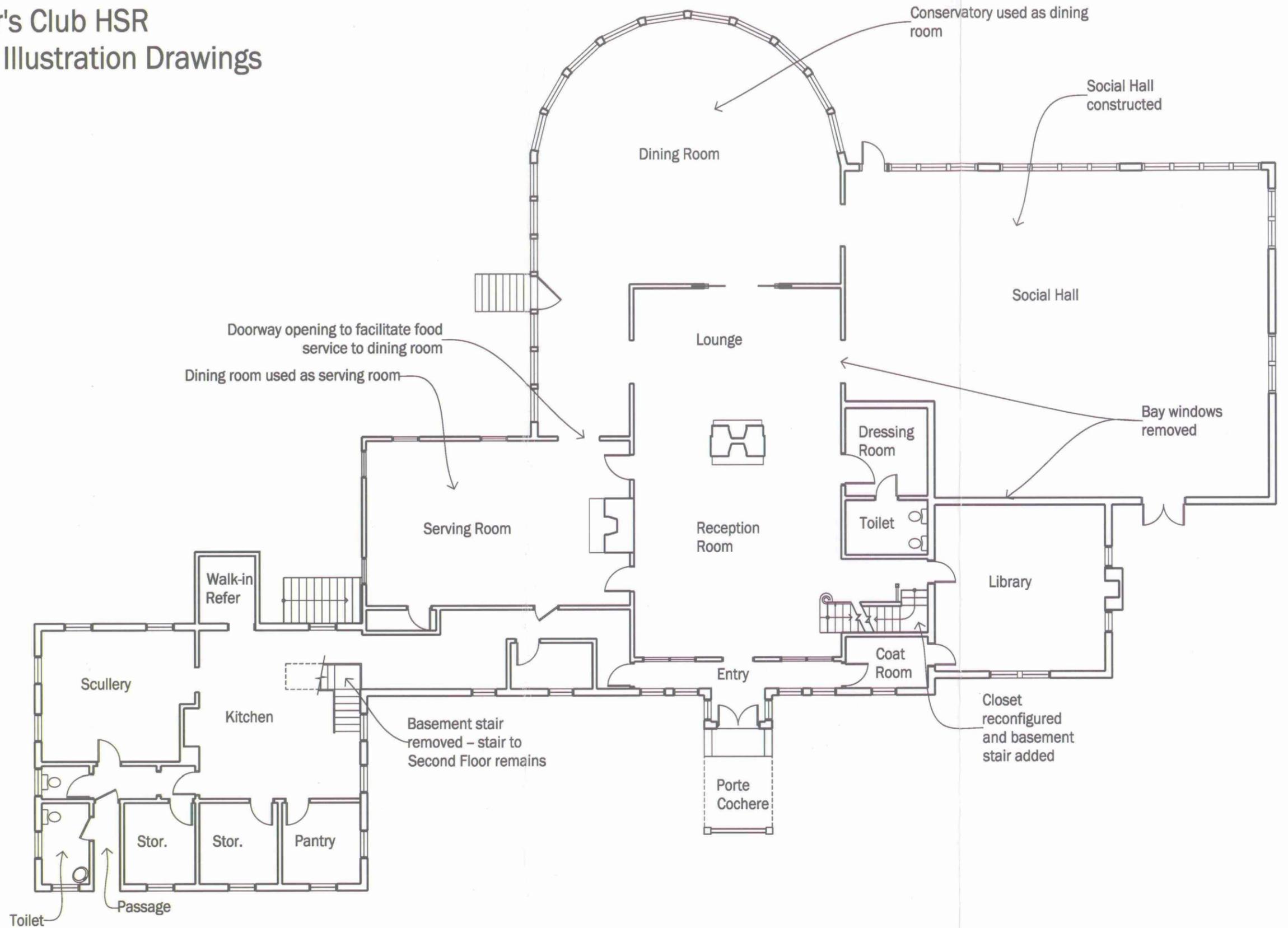


SECOND FLOOR PLAN ca. 1922 to 1938



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.

Fort Mason Officer's Club HSR  
 Building Evolution Illustration Drawings

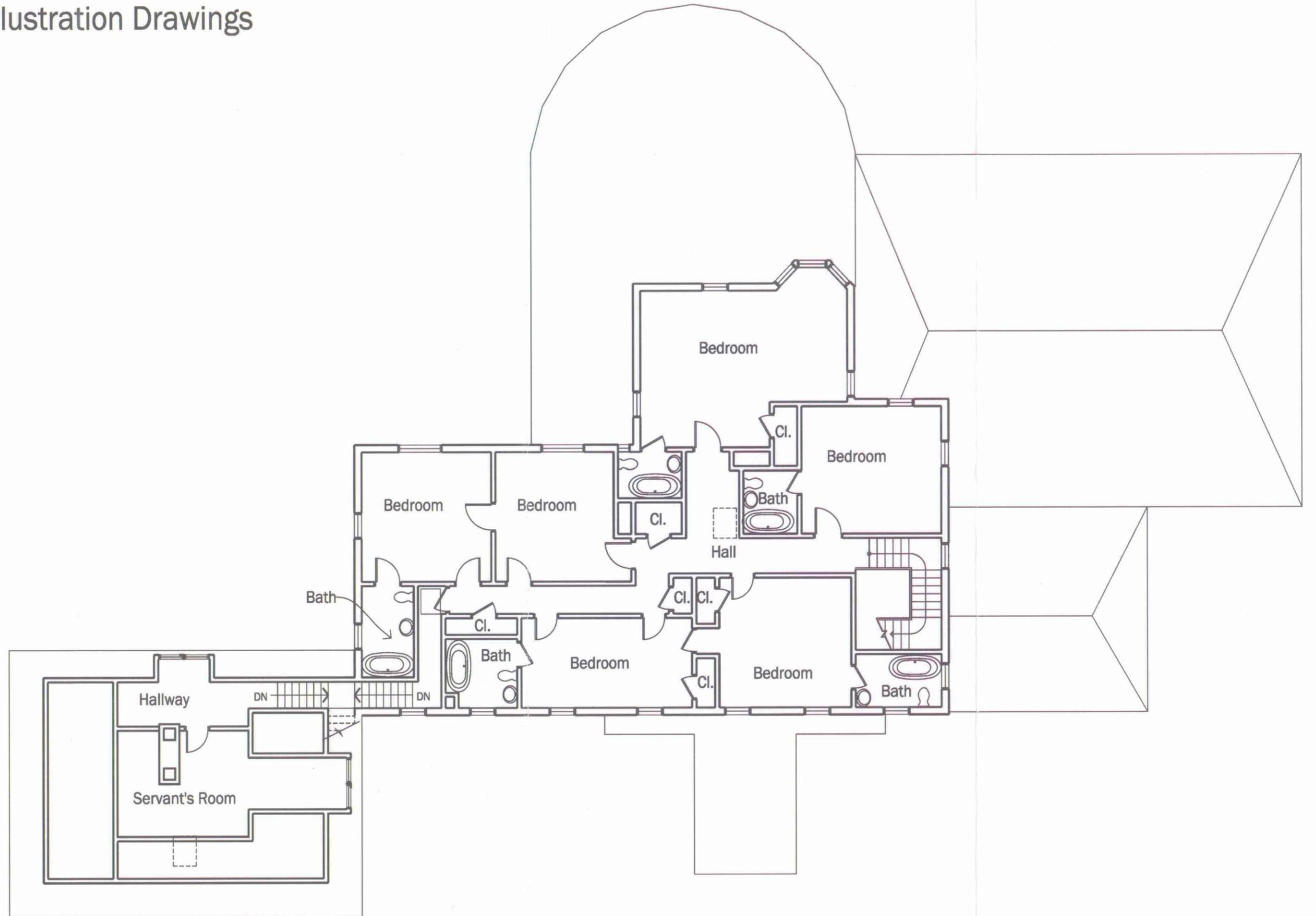


FIRST FLOOR PLAN ca. 1948 to 1953



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.

Fort Mason Officer's Club HSR  
Building Evolution Illustration Drawings

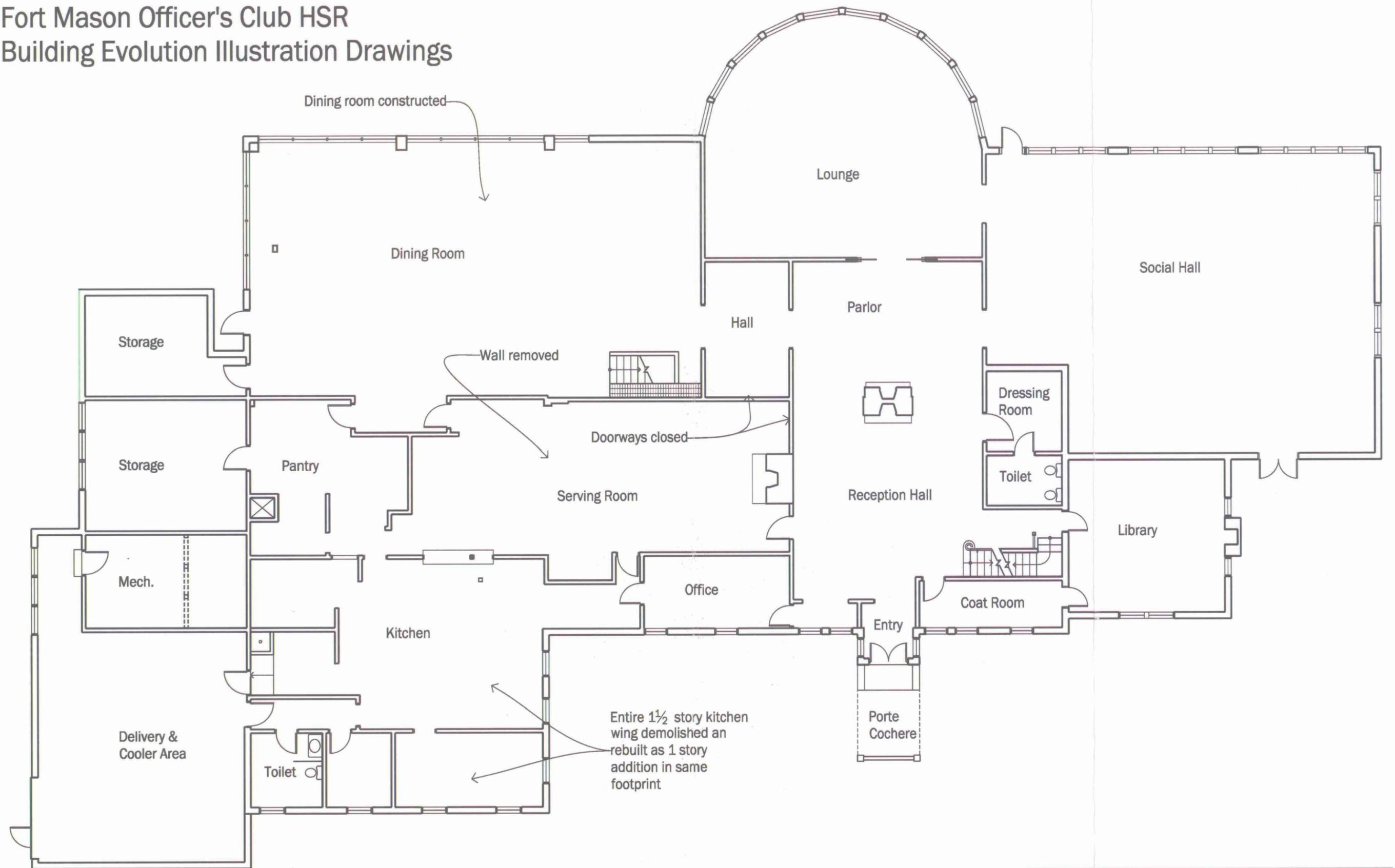


SECOND FLOOR PLAN ca. 1948 to 1953



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.

# Fort Mason Officer's Club HSR Building Evolution Illustration Drawings

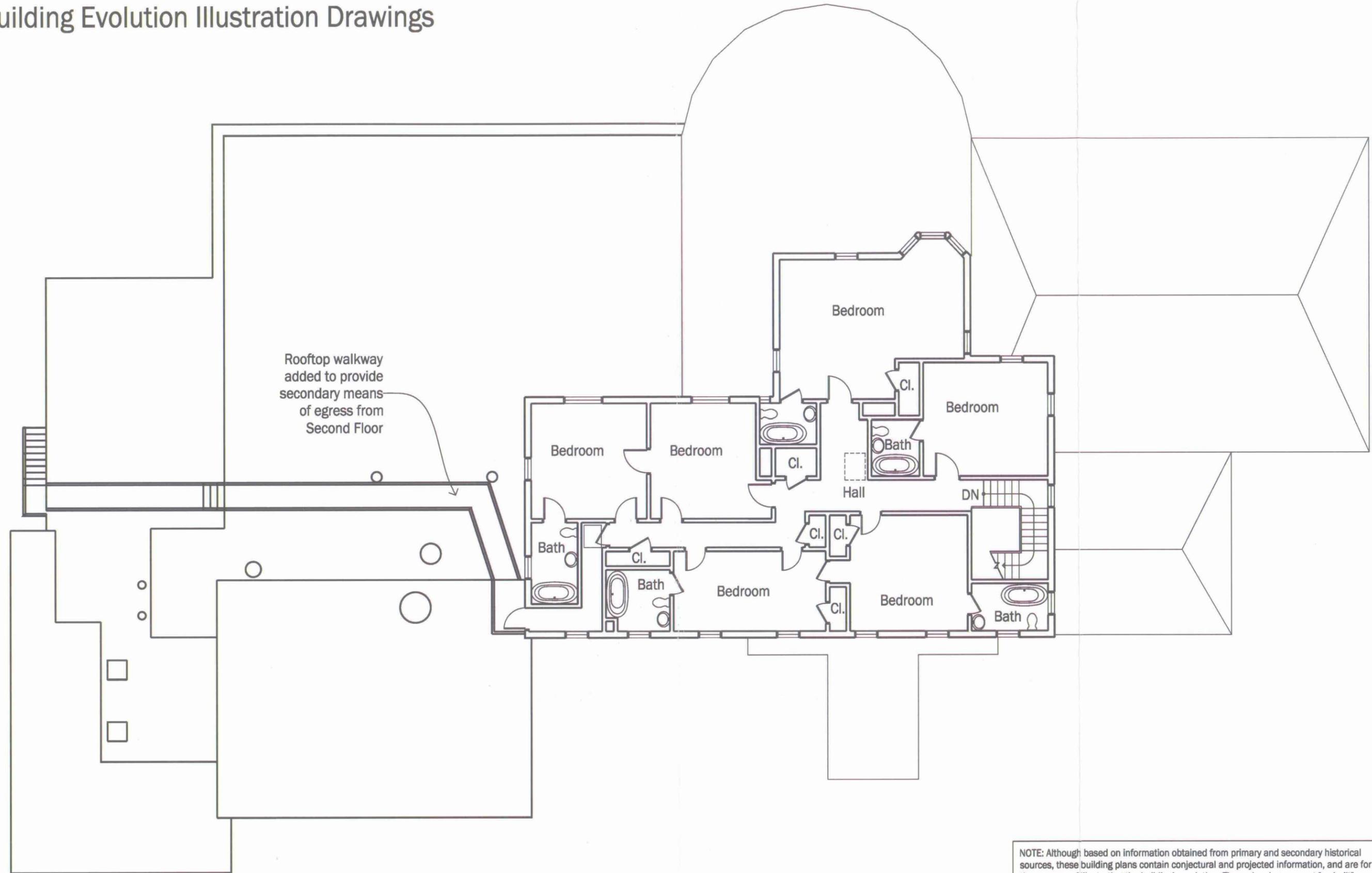


FIRST FLOOR PLAN ca. 1958 to 1960



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.

# Fort Mason Officer's Club HSR Building Evolution Illustration Drawings



SECOND FLOOR PLAN ca. 1958 to 1960



NOTE: Although based on information obtained from primary and secondary historical sources, these building plans contain conjectural and projected information, and are for the purpose of illustrating the building's evolution. These drawings are not "as-built" layouts of spaces, fixtures and other building components.



PERSPECTIVE VIEW



BIRD'S EYE VIEW

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LEGEND

- PARTITION WALL
- ▨ BRICK WALL
- ▩ STONE WALL

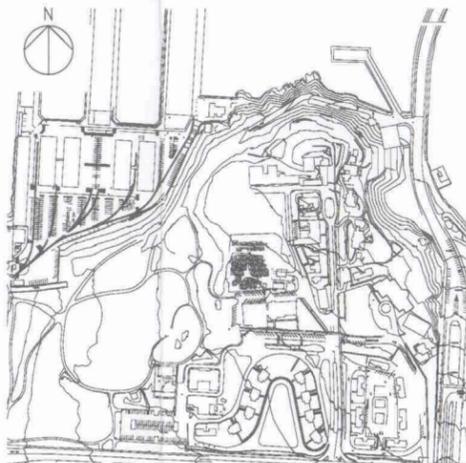
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PLOTTED ON: Wednesday, September 22, 2004

VICINITY MAP



**FORT MASON  
OFFICER'S CLUB  
RECORD DRAWINGS**

REVISIONS

NO.	DATE	REVISION	BY
-			

SHEET TITLE

COVER SHEET

SHEET INDEX

- A-1.0 COVER SHEET
- A-1.1 SITE - ROOF PLAN
- A-1.2 BASEMENT PLAN
- A-1.3 FIRST FLOOR PLAN
- A-1.4 SECOND FLOOR PLAN
- A-2.1 EXTERIOR ELEVATIONS

SCALE:	-	SHEET NO.	
DATE:	-		
DRAWN BY:	TN		A-1.0
CHECKED BY:	AL		
JOB NO.:	2409	## OF	## SHEETS

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RECORD DRAWING ONLY  
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PLOTTED ON: Friday, August 20, 2004

**FORT MASON  
OFFICER'S CLUB  
RECORD DRAWINGS**

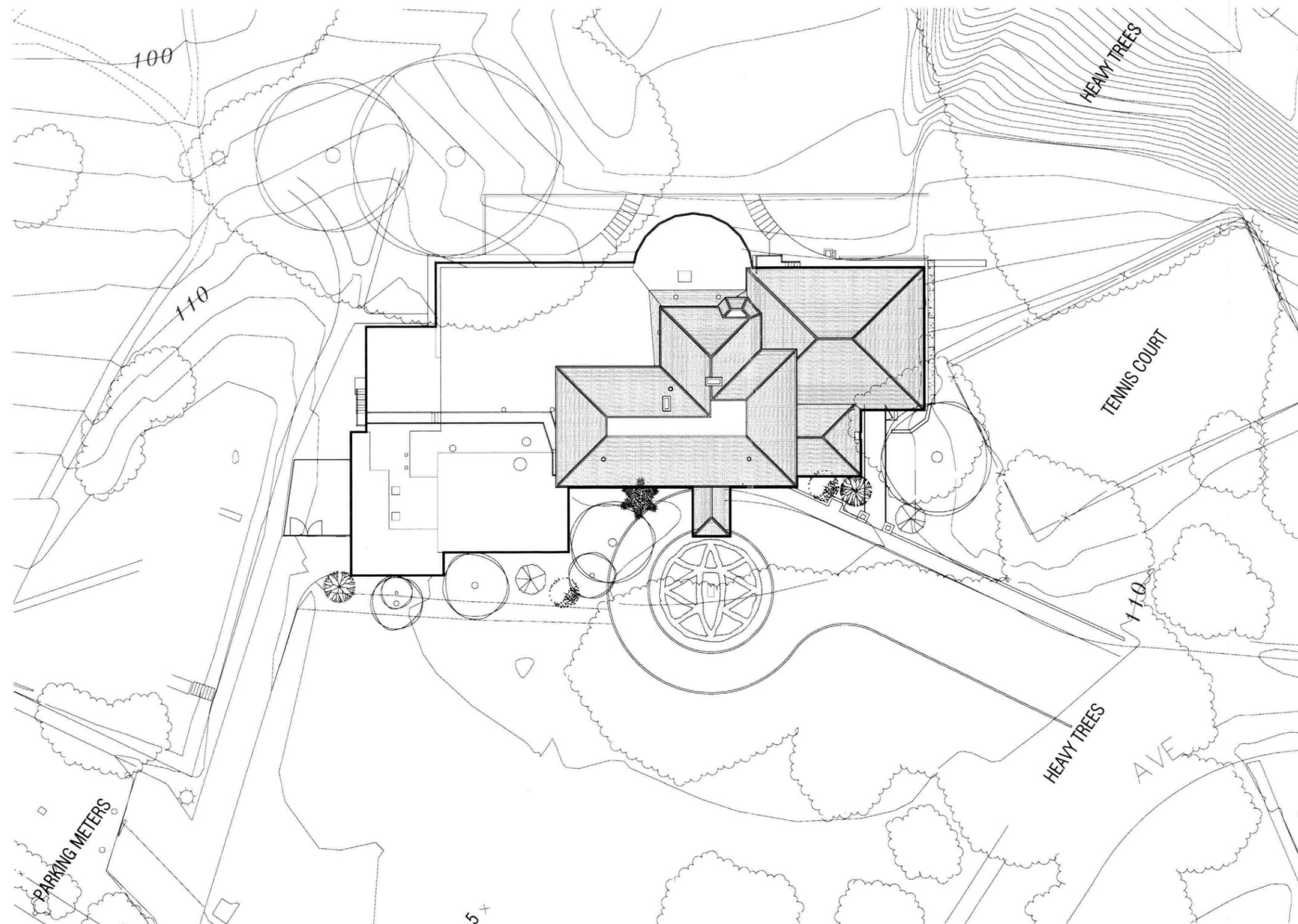
REVISIONS

NO.	DATE	REVISION	BY
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SHEET TITLE

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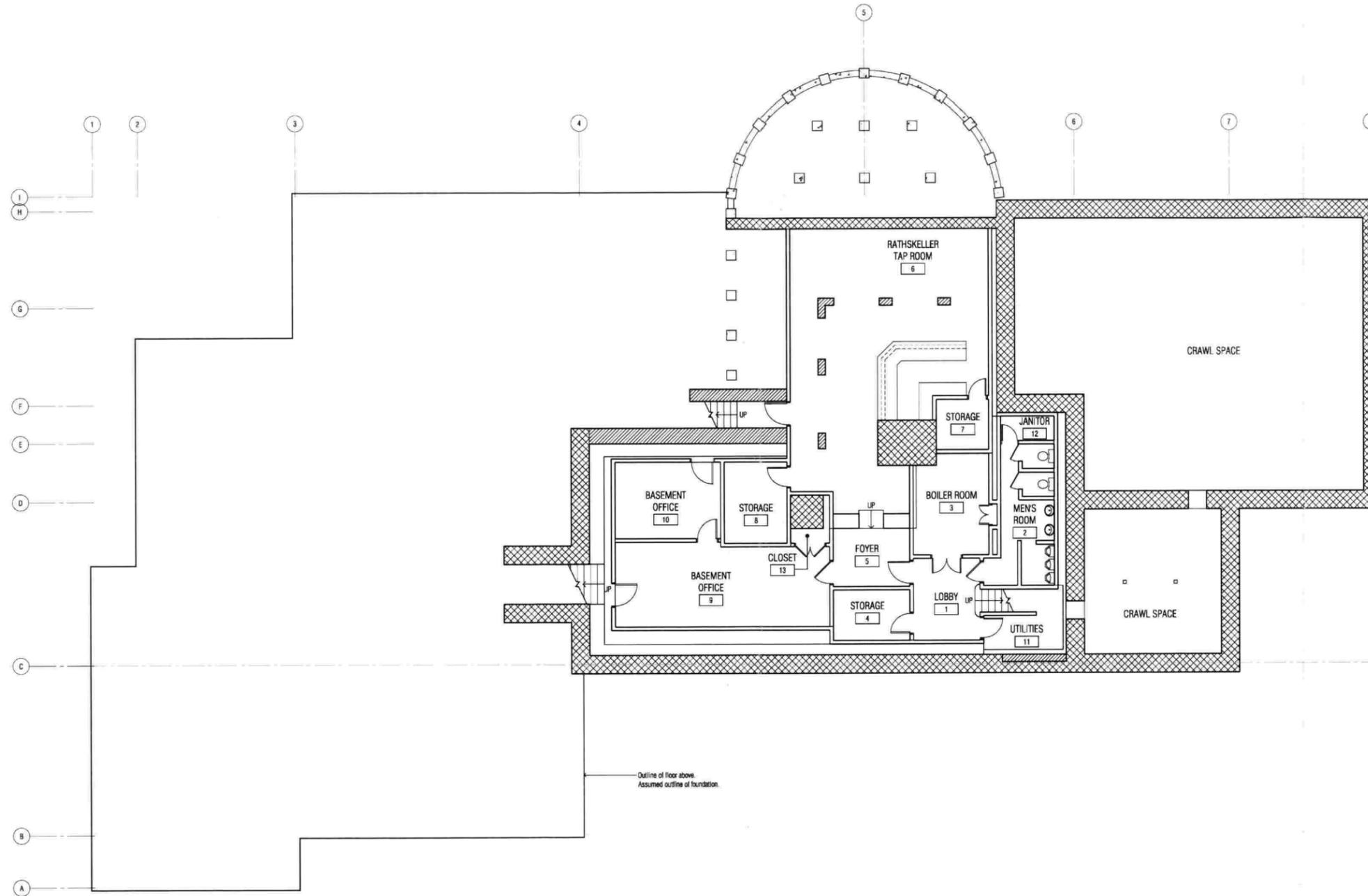
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1 SITE - ROOF PLAN  
1/16" = 1'-0"

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**1** BASEMENT PLAN  
1/8" = 1'-0"



RECORD DRAWING ONLY  
NOT FOR CONSTRUCTION  
PLOTTED ON: Friday, August 20, 2004

**FORT MASON  
OFFICER'S CLUB  
RECORD DRAWINGS**

REVISIONS

NO.	DATE	REVISION	BY
-			

SHEET TITLE  
**BASEMENT PLAN**

SCALE:	1/8" = 1'-0"	SHEET NO.	
DATE:	-		
DRAWN BY:	TM		A-1.2
CHECKED BY:	AL		
JOB NO.:	2409	## OF	## SHEETS

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PHONE: (415) 863-5475  
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EMAIL: INFO@LERNERARCH.COM

**RECORD DRAWING ONLY  
NOT FOR CONSTRUCTION**

PLOTTED ON: Tuesday, September 21, 2004

**FORT MASON  
OFFICER'S CLUB  
RECORD DRAWINGS**

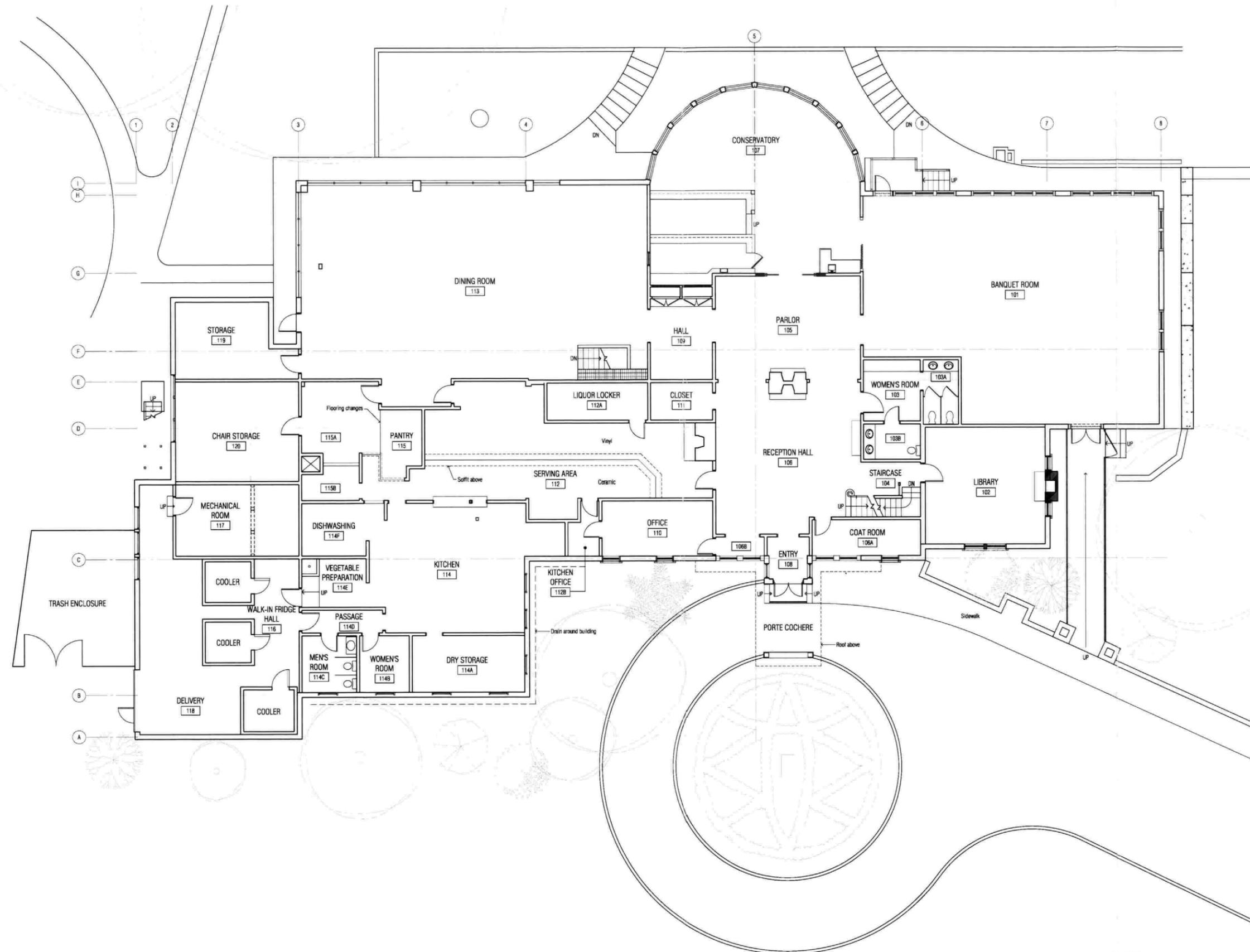
REVISIONS

NO.	DATE	REVISION	BY

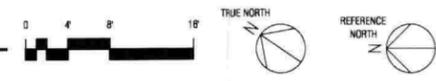
SHEET TITLE

**FIRST FLOOR PLAN**

SCALE:	1/8" = 1'-0"	SHEET NO.	A-13
DATE:	-	DRAWN BY:	TN
CHECKED BY:	AL	JOB NO.:	2409

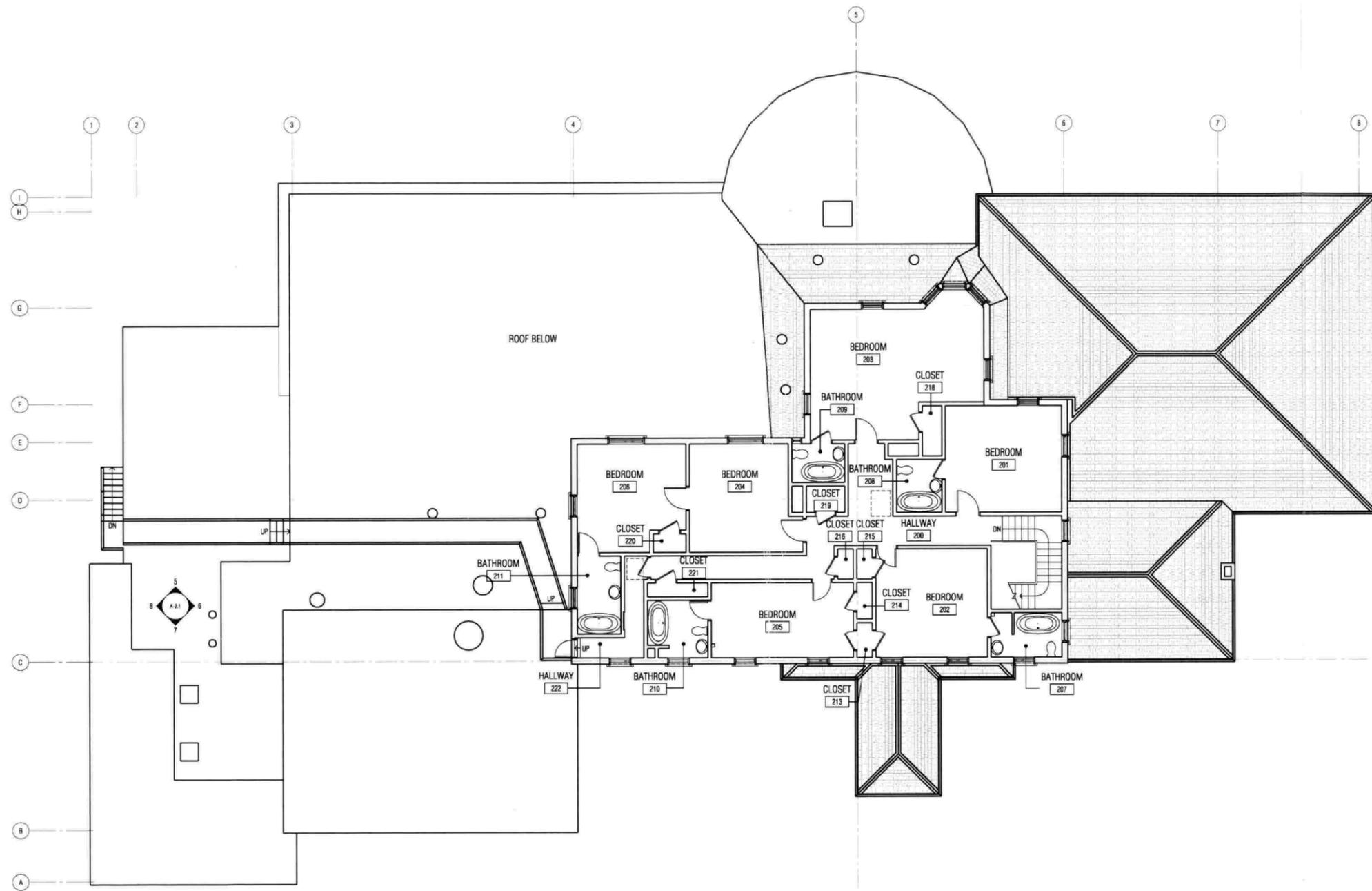


**1 FIRST FLOOR PLAN**  
1/8" = 1'-0"



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**FORT MASON  
OFFICER'S CLUB  
RECORD DRAWINGS**

REVISIONS

NO.	DATE	REVISION	BY
-			

SHEET TITLE  
**SECOND FLOOR PLAN**

**1** SECOND FLOOR PLAN AND PARTIAL ROOF PLAN  
1/8" = 1'-0"



SCALE:	1/8" = 1'-0"	SHEET NO.	
DATE:	-		
DRAWN BY:	TN		A-1.4
CHECKED BY:	AL		
JOB NO.:	2409	## OF ## SHEETS	

641/20613 5 of 6

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PHONE: (415) 863-5475  
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EMAIL: INFO@LERNERARCH.COM

5 PARTIAL EAST ELEVATION ON ROOF  
1/8" = 1'-0"

6 PARTIAL SOUTH ELEVATION ON ROOF  
1/8" = 1'-0"

7 PARTIAL WEST ELEVATION ON ROOF  
1/8" = 1'-0"

8 PARTIAL NORTH ELEVATION ON ROOF  
1/8" = 1'-0"



3 SOUTH ELEVATION  
1/8" = 1'-0"

4 NORTH ELEVATION  
1/8" = 1'-0"



2 EAST ELEVATION  
1/8" = 1'-0"



1 WEST ELEVATION  
1/8" = 1'-0"

DESIGN DEVELOPMENT  
NOT FOR CONSTRUCTION

PLOTTED ON: Friday, August 20, 2004

**FORT MASON  
OFFICER'S CLUB  
RECORD DRAWINGS**

REVISIONS

NO.	DATE	REVISION	BY
-	-	-	-

SHEET TITLE

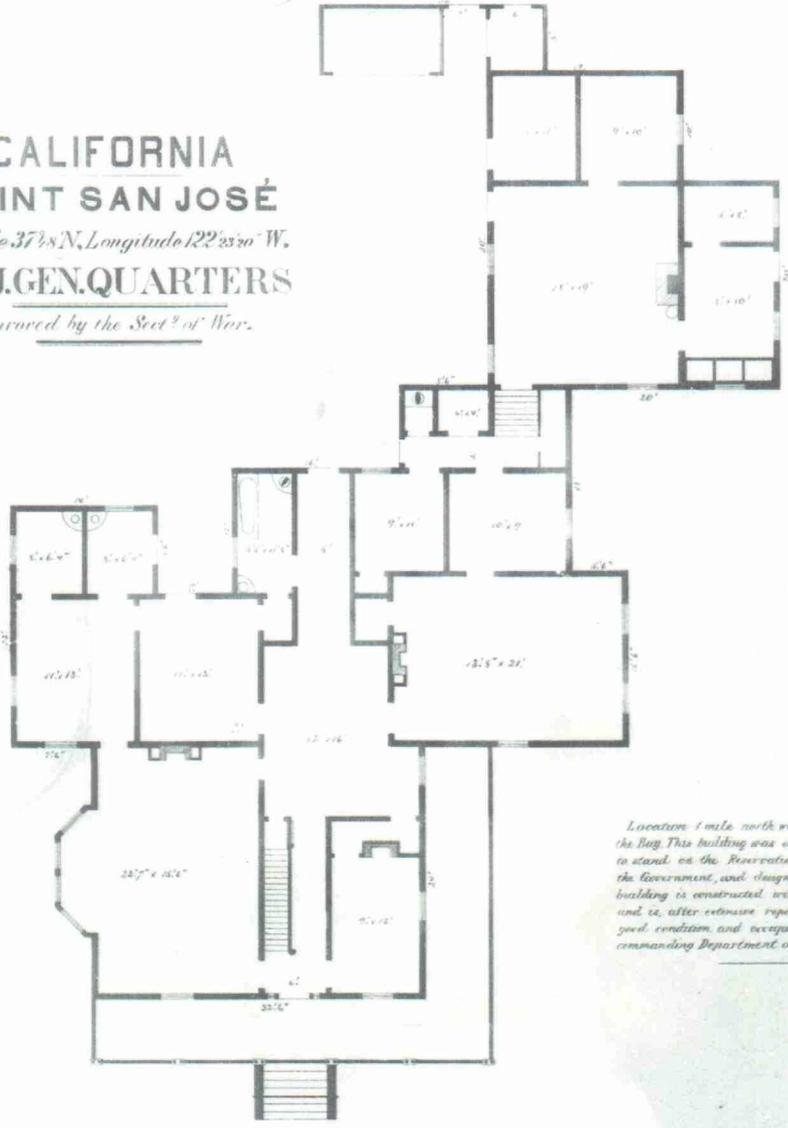
EXTERIOR ELEVATIONS

SCALE:	1/8" = 1'-0"	SHEET NO.	A-2.1
DATE:	-		
DRAWN BY:	TN		
CHECKED BY:	AL		
JOB NO.:	2409	## OF ## SHEETS	





**CALIFORNIA**  
**POINT SAN JOSÉ**  
*Latitude 37° 38' N. Longitude 122° 23' 20" W.*  
**MAJ. GEN. QUARTERS**  
*Approved by the Sect. of War.*



*Location 1 mile north west of San Francisco on the south side of the Bay. This building was erected in 1855, by civilians and being found to stand on the Reservation of this Post, was taken possession of by the Government, and designated to be used as Officers Quarters. The building is constructed with dressed lumber framed & weatherboarded, and is, after extensive repairs, additions &c. made, in October 1865 in good condition and occupied as Quarters by Maj Genl. M. D. B. D. commanding Department of California, November 1865.*

*From drawing filed in Q. M. O. No. 201 Dec 6, 1865.*



## Fort Mason Officer's Club San Francisco, CA

0 25 50  
Feet



Source Information:

Aerial Photo - 2001

San Francisco Department of Telecommunications and Information

Historic Map Overlay - 1868

Park Archives and Record Center - GOGA

Note: The accuracy of this comparison is less than ten feet, assuming accuracy of the 1868 map copy.  
Andrew Bley, Golden Gate National Parks Conservancy, 2004.

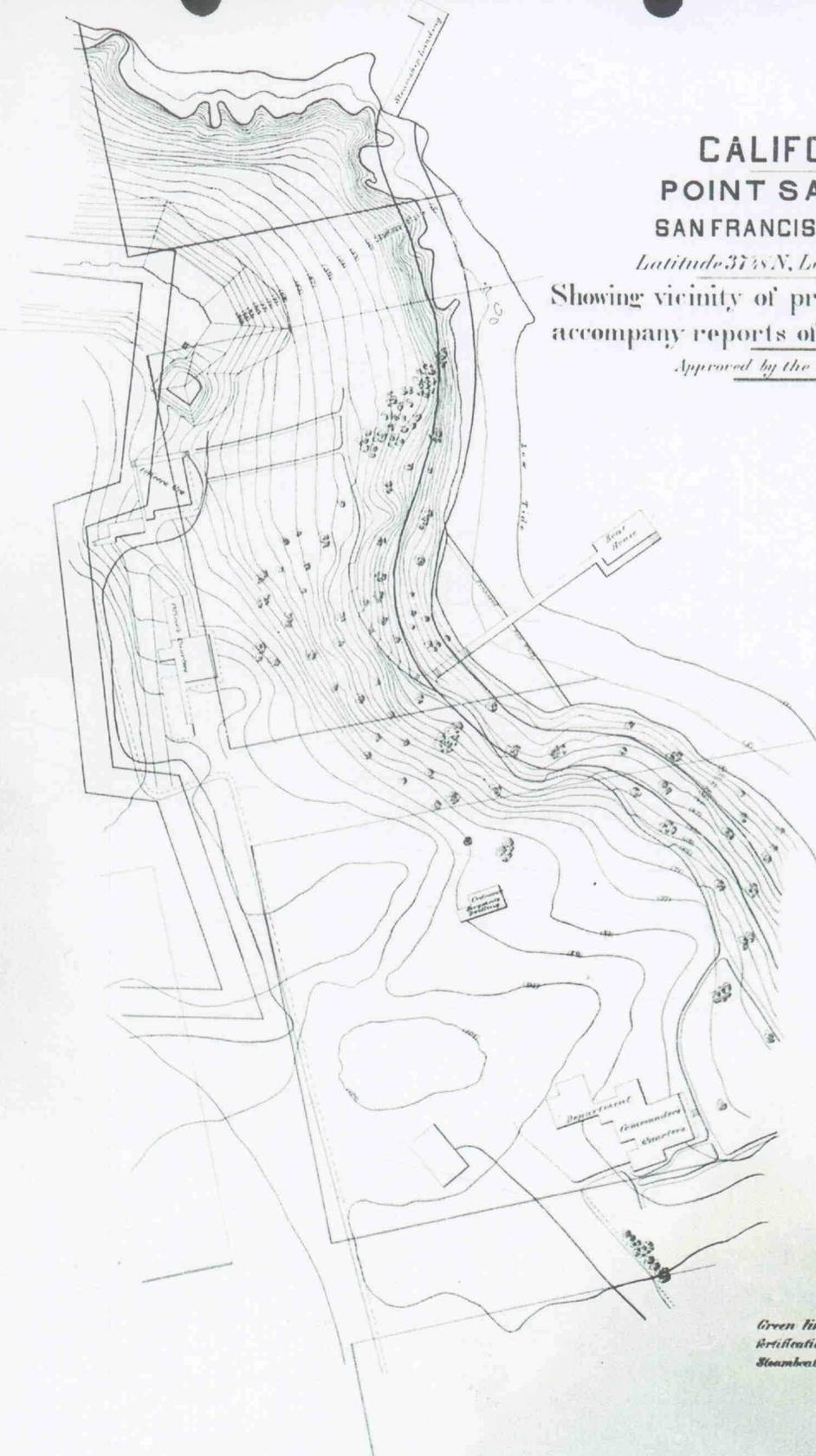


**CALIFORNIA  
POINT SAN JOSE  
SAN FRANCISCO HARBOR**

*Latitude 37° 48' N, Longitude 122° 33' W.*

Showing vicinity of proposed Sea Wall, to  
accompany reports of Maj. H. M. Robert.

*Approved by the Sect<sup>y</sup> of War.*



*Green lines show location of proposed  
fortification road leading from it to  
Steamboat landing.*

MILITARY RESERVE  
POINT SAN JOSE CAL.

January 1877

Laguna Street

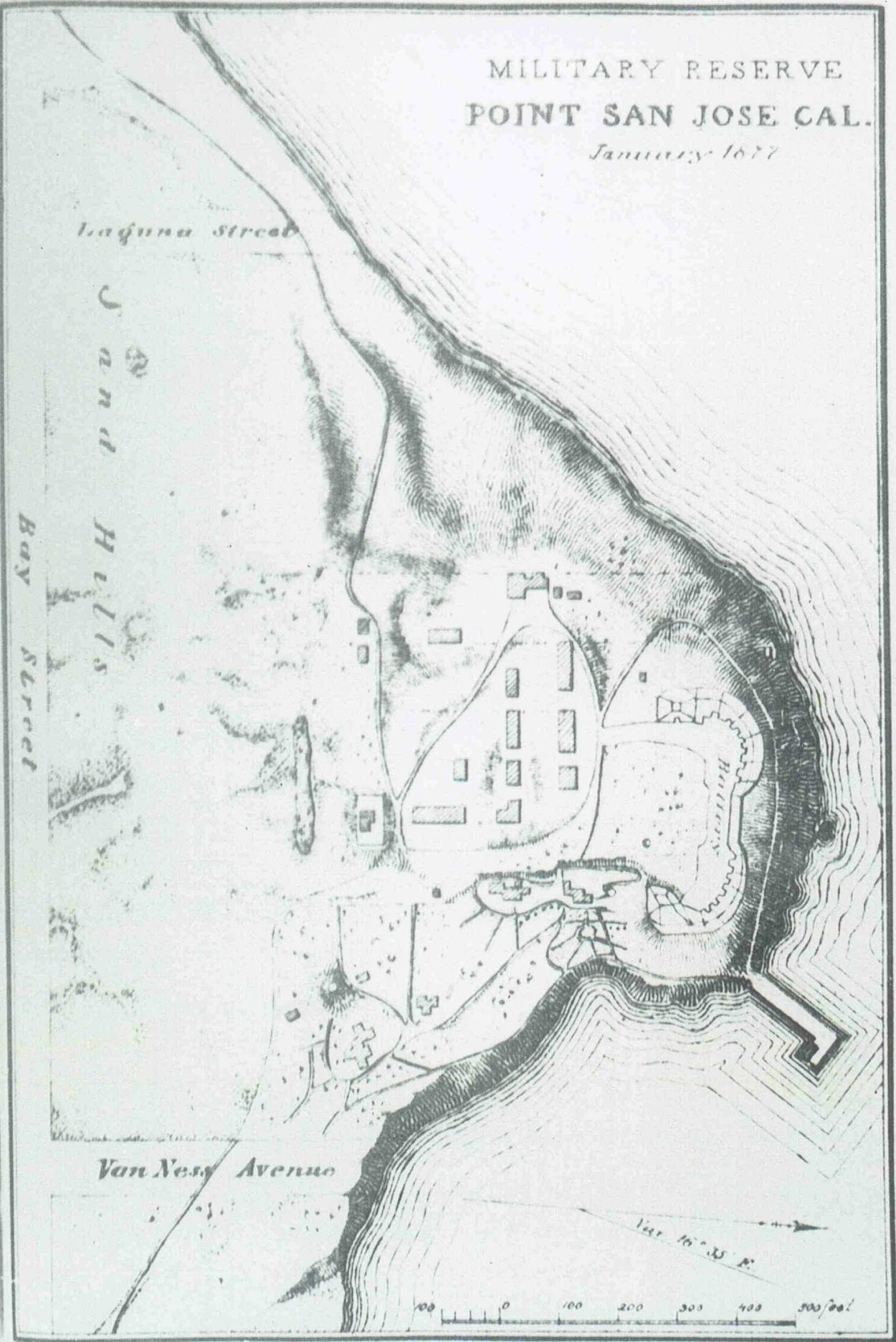
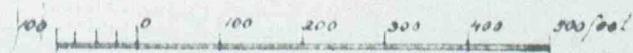
Bay Street

Sand Hills

Van Ness Avenue

Battery

1st 16° 35' E.

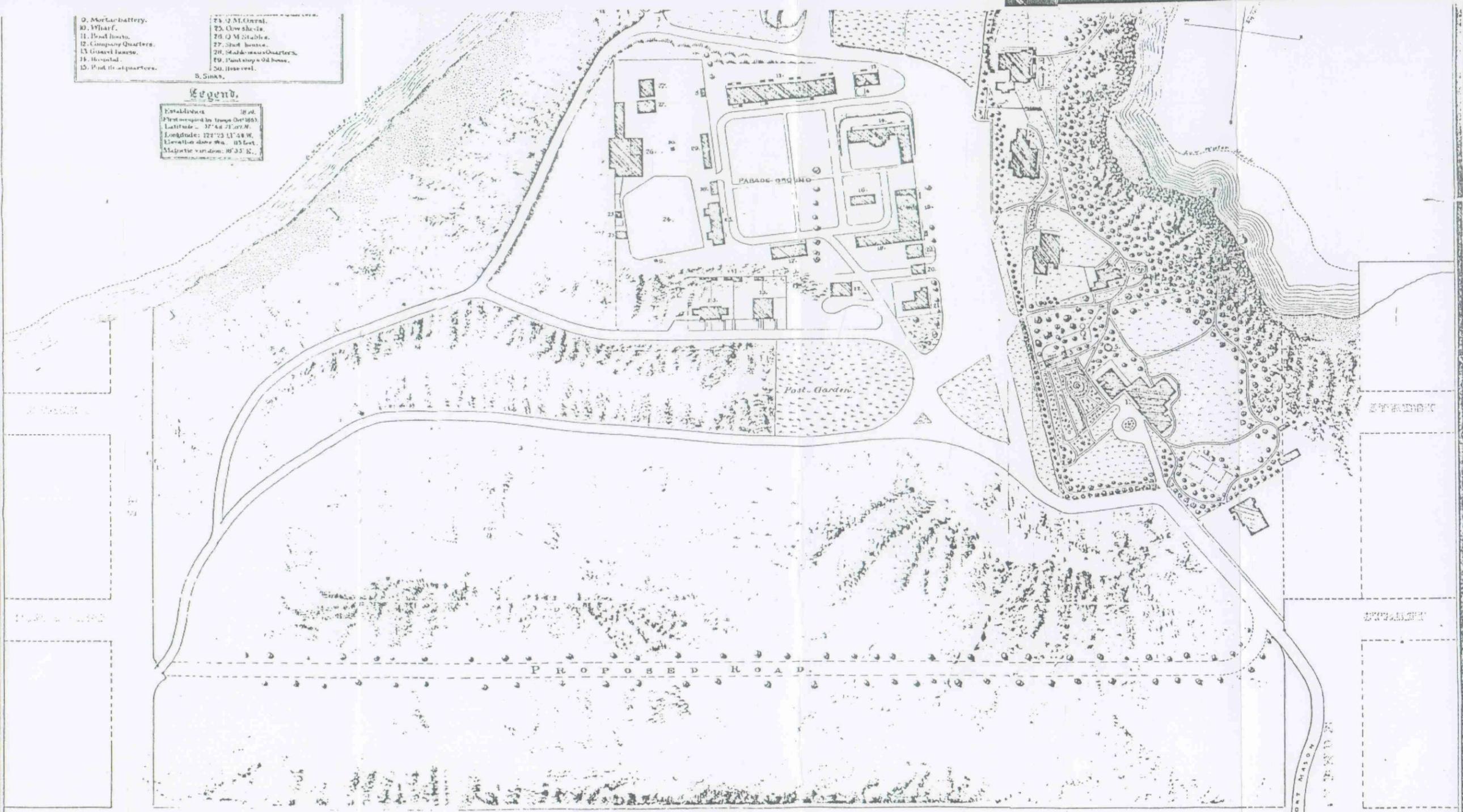


1890

- 0. Muzzle battery.
- 10. Wharf.
- 11. Head house.
- 12. Company Quarters.
- 13. Guard house.
- 14. Hospital.
- 15. Post Headquarters.
- 16. Sinks.
- 17. O.M. Central.
- 18. Cow shed.
- 19. O.M. Stable.
- 20. Stable house.
- 21. Stable mess Quarters.
- 22. Paint shop & Oil house.
- 23. Horse shed.

**Legend.**

Established 1890.  
 First occupied by troops Oct 1883.  
 Latitude - 37° 44' 21" N.  
 Longitude - 122° 23' 11" W.  
 Elevation above sea. 85 feet.  
 Magnetic variation: 10° 35' E.



ENGINEER OFFICE,  
 Corps of Engineers, Department of War,  
 San Francisco, Cal.

Official: *J. S. Russell*  
 Major, Corps of Engineers,  
 Acting District Engineer.



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 NATIONAL PARK SERVICE  
 CONRA ARCHIVES  
 Dwr. 237 Fldr.

641/20913



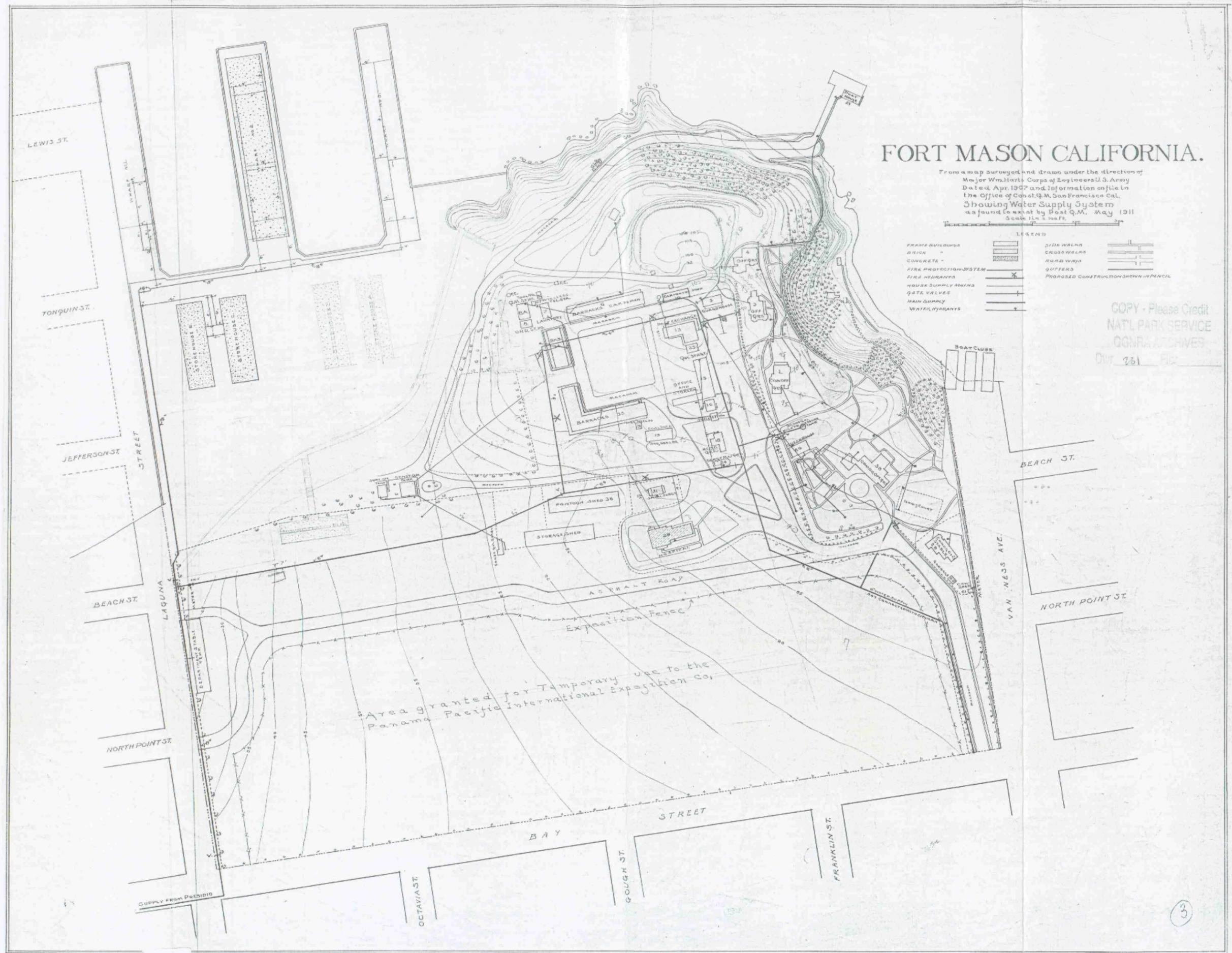
# FORT MASON CALIFORNIA.

From a map surveyed and drawn under the direction of  
 Major Wm. Harts Corps of Engineers U.S. Army  
 Dated Apr. 1907 and Information on file in  
 the Office of Const. Q.M. San Francisco Cal.  
 Showing Water Supply System  
 as found to exist by Post Q.M. May 1911  
 Scale 1 in = 100 FT.

LEGEND

FRAME BUILDINGS	[Symbol]	SIDE WALKS	[Symbol]
BRICK "	[Symbol]	CROSS WALKS	[Symbol]
CONCRETE "	[Symbol]	ROAD WAYS	[Symbol]
FIRE PROTECTION SYSTEM	[Symbol]	GUTTERS	[Symbol]
FIRE HYDRANTS	[Symbol]	PROPOSED CONSTRUCTION SHOWN IN PENCIL	[Symbol]
HOUSE SUPPLY MAINS	[Symbol]		
GATE VALVES	[Symbol]		
MAIN QUARRY	[Symbol]		
WATER HYDRANTS	[Symbol]		

COPY - Please Credit  
 NATL. PARK SERVICE  
 OGNIARCHIVES  
 DWG 231



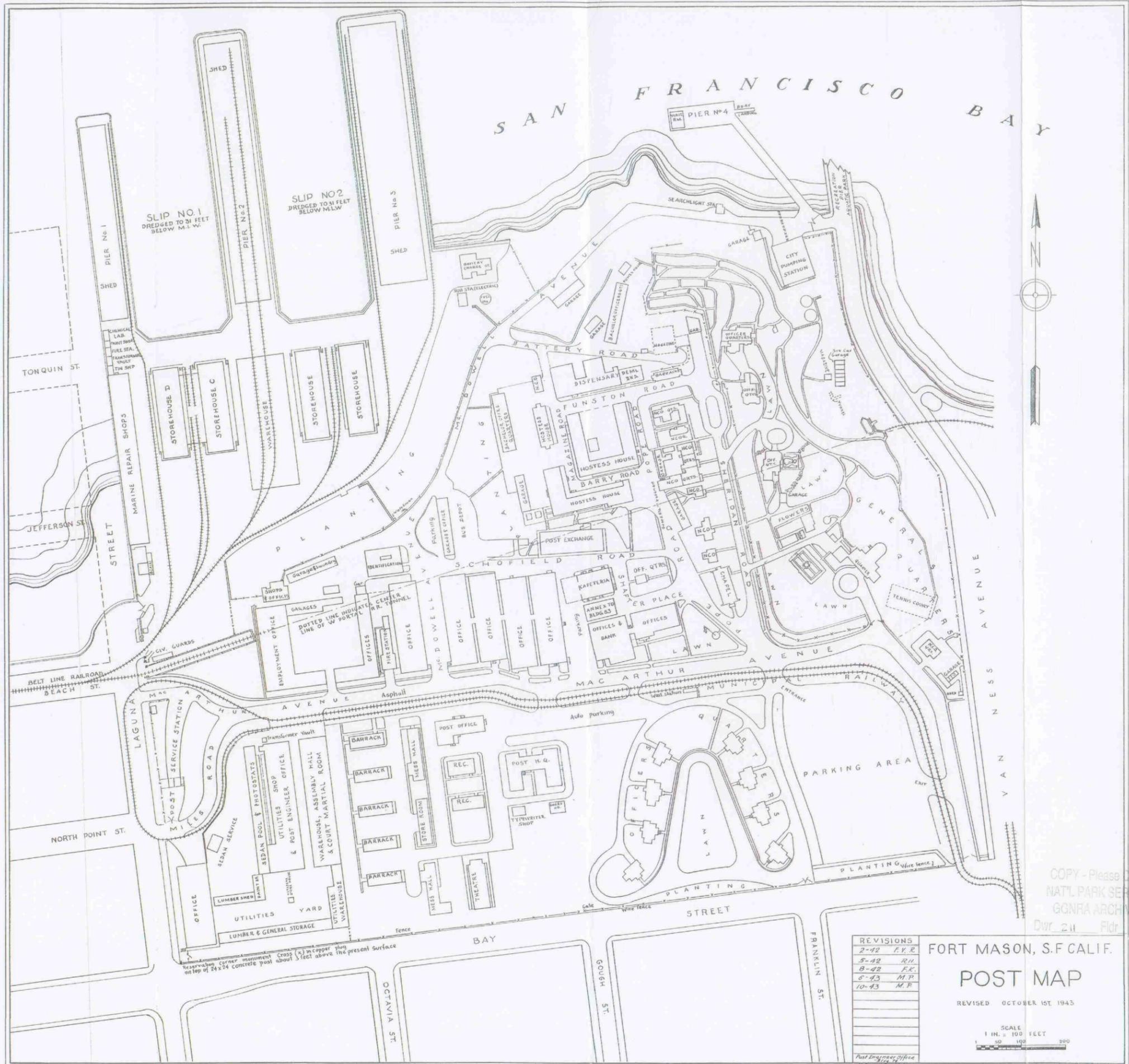


1917

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641/20916





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 NAT'L PARK SERVICE  
 GGNRA ARCHIVES  
 Dwr. 211 Fldr.

REVISIONS	
2-22	F.V.R.
5-22	R.H.
8-22	F.V.
8-23	M.P.
10-23	M.P.

FORT MASON, S.F. CALIF.

POST MAP

REVISED OCTOBER 1ST 1943

SCALE  
 1 IN. = 100 FEET  
 0 50 100 200

Resurveyed corner monument Cross (1) in copper plug  
 on top of 24x24 concrete post about 3 feet above the present surface

641/20918 E

# Draft Existing Conditions 2003

Cultural Landscape Report for  
Fort Mason  
Golden Gate National Recreation Area  
San Francisco, California

Produced by

National Park Service  
Olmsted Center for Landscape Preservation  
and  
Columbia Cascade Support Office

Map Sources:  
Sewer Sheet Index, July 1999

Notes:  
This is not a legal Survey. Intended for illustrative purposes only.  
Building shading is not intended to annotate construction materials.  
Plan drawn with AutoCAD 2002, Adobe Illustrator 10, and  
Photoshop 7 by Amy Hoke, NPS.

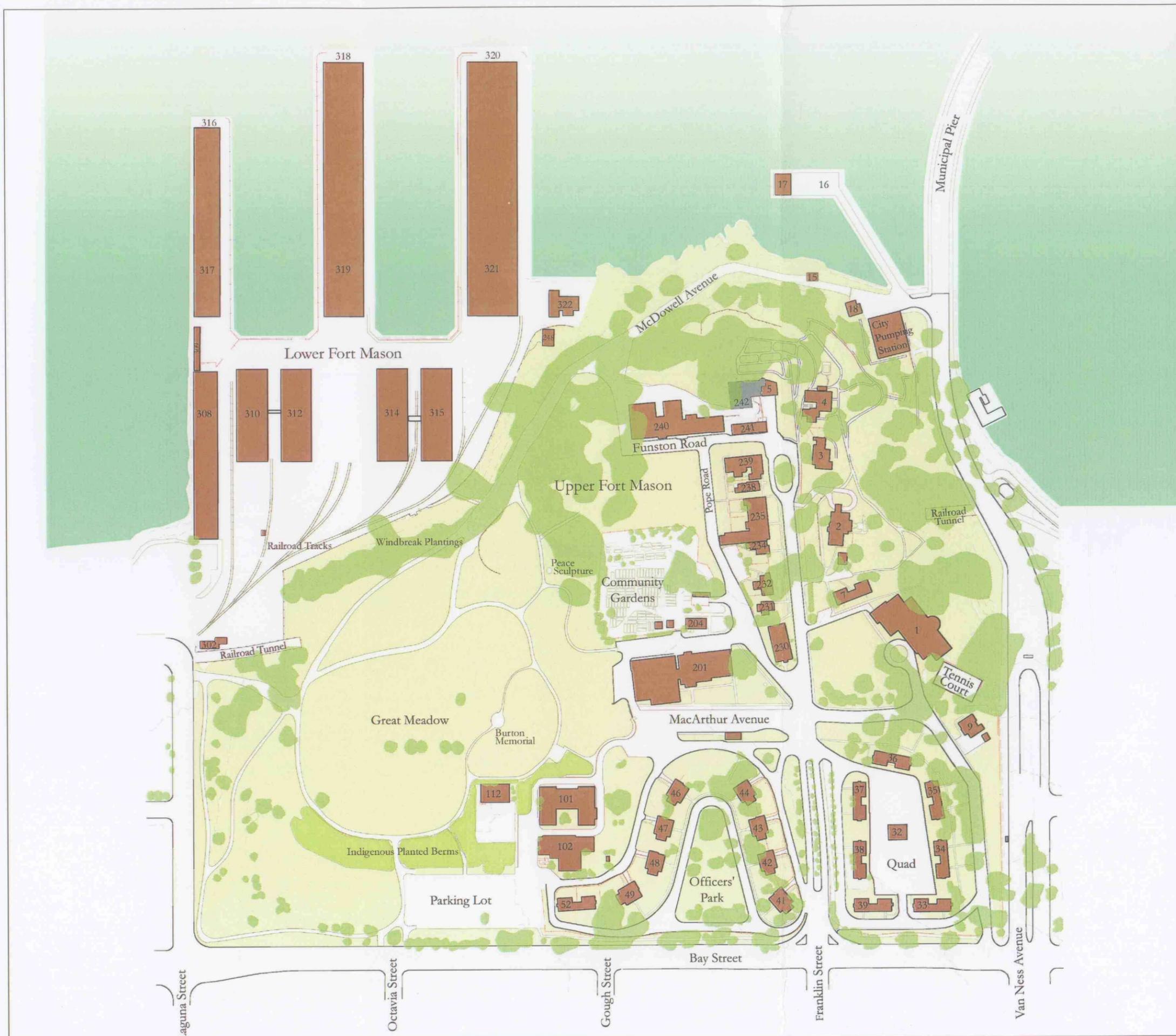
Approximate Scale In Feet

0 100 200



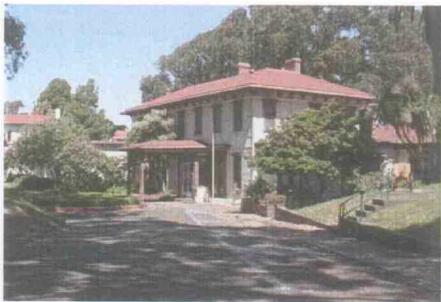
## Legend

-  Building
-  Topography (10' Intervals)
-  Walkways
-  Roads
-  Rail Line



**Appendix B**  
*Thumbnail Photos*

Fort Mason Officer's Club Exterior Views, June 2004 by John Martini Unless Otherwise Noted



Bldg 1 2004 (JAM)



McDowell Hall 4-23-04



Qrts 1 exterior 002



Qrts 1 exterior 005



Qrts 1 exterior 008



Qrts 1 exterior 010



Qrts 1 exterior 011



Qrts 1 exterior 013



Qrts 1 exterior 016



Qrts 1 exterior 018



Qrts 1 exterior 020



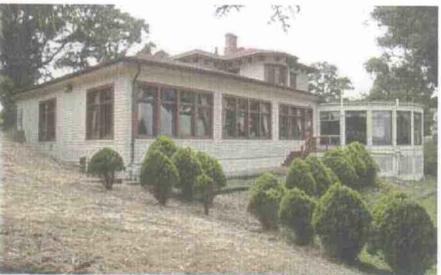
Qrts 1 exterior 021



Qrts 1 exterior 022



Qrts 1 exterior 029



Qrts 1 exterior 032

Fort Mason Officer's Club Exterior Views, June 2004 by John Martini Unless Otherwise Noted



Qrts 1 exterior 035



Qrts 1 exterior 038



Qrts 1 exterior 041



Qrts 1 exterior 044



Qrts 1 exterior 048



Qrts 1 exterior 052



Qrts 1 exterior 053



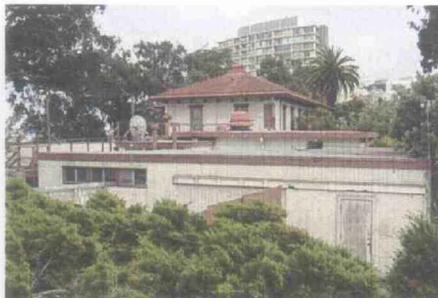
Qrts 1 exterior 058



Qrts 1 exterior 061



Qrts 1 exterior 064



Qrts 1 exterior 065



Qrts 1 exterior 070



Qrts 1 exterior 073



Qrts 1 exterior 074



Qrts 1 exterior 077

Fort Mason Officer's Club Exterior Views, June 2004 by John Martini Unless Otherwise Noted



Qrts 1 exterior 080



Qrts 1 exterior 081



Qrts 1 exterior 082



Qrts 1 exterior 083



Qrts 1 exterior 084



Qrts 1 exterior 085



Qrts 1 exterior 086



Qrts 1 exterior 087



Qrts 1 exterior 088

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 1 - view northeast



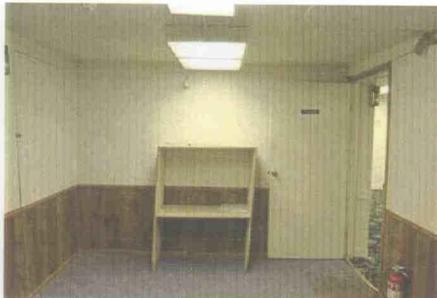
Rm 1 - view southeast



Rm 1 - view southwest



Rm 10, view north



Rm 10, view south



Rm 10, view southeast



Rm 10, view southwest



Rm 101 - panorama view northeast



Rm 101 - view east



Rm 101 - view north



Rm 101 - view south



Rm 101 - view west (left hand)



Rm 101 - view west (right hand)



Rm 102 - fireplace

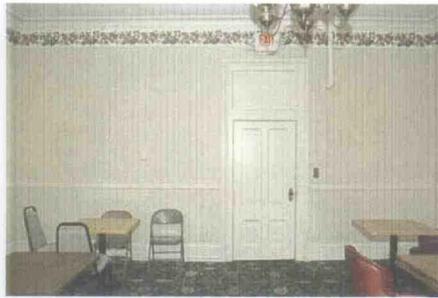


Rm 102 - panorama

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 102 - view east



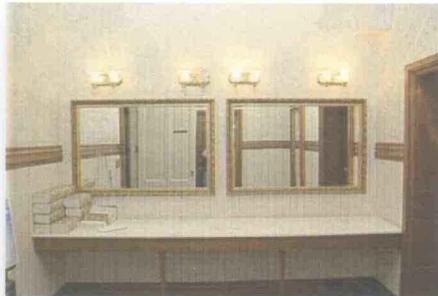
Rm 102 - view north



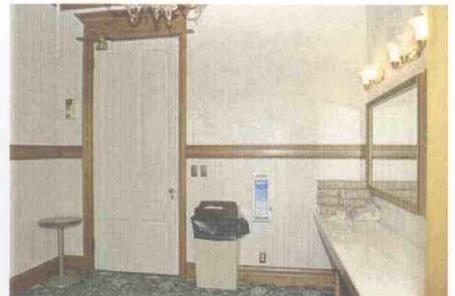
Rm 102 - view south



Rm 102 - view west



Rm 103 - view east



Rm 103 - view north



Rm 103 - view south



Rm 103 - view west



Rm 103 hinge



Rm 103A - view southeast



Rm 103A - view southwest



Rm 103B - view northwest



Rm 103B - view southwest



Rm 104 (upper) - view southwest



Rm 104 - view south

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 104 - view southwest



Rm 105 - panorama view northwest



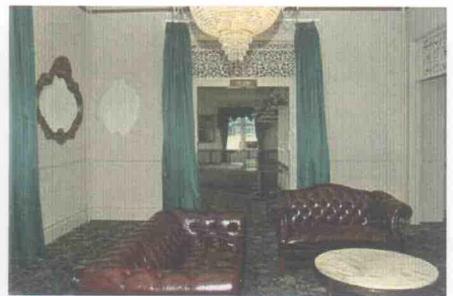
Rm 105 - view east



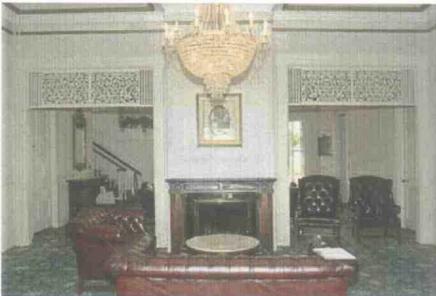
Rm 105 - view north



Rm 105 - view northwest



Rm 105 - view south



Rm 105 - view west



Rm 106 - panorama view southeast



Rm 106 - view east



Rm 106 - view north



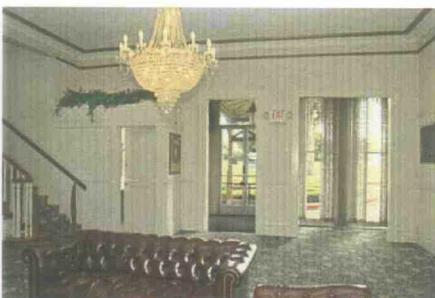
Rm 106 - view south



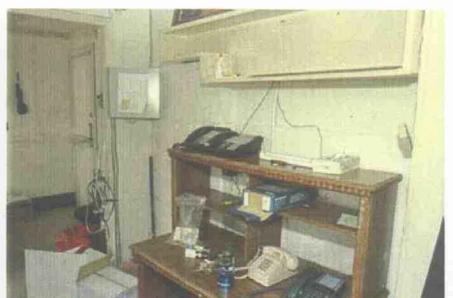
Rm 106 - view southeast



Rm 106 - view southwest



Rm 106 - view west



Rm 106A - view east

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 106A - view north



Rm 106A - view south



Rm 106A - view west



Rm 106B - view northwest



Rm 106B - view southeast



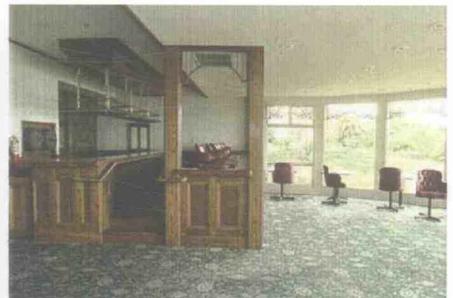
Rm 107 - bar area



Rm 107 - panorama view southwest



Rm 107 - view east



Rm 107 - view north



Rm 107 - view northwest



Rm 107 - view south



Rm 107 - view southeast



Rm 107 - view southwest



Rm 107 - view west ver 1



Rm 107 - view west ver 2

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



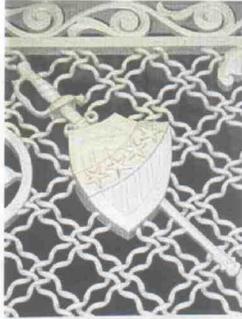
Rm 107 carved grille



Rm 107 door hardware 1



Rm 107 door hardware 2



Rm 107 grille detail



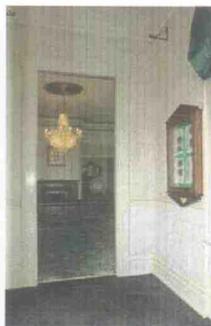
Rm 107 pocket doors



Rm 108 - view north west



Rm 108 - view northeast



Rm 108 - view southeast



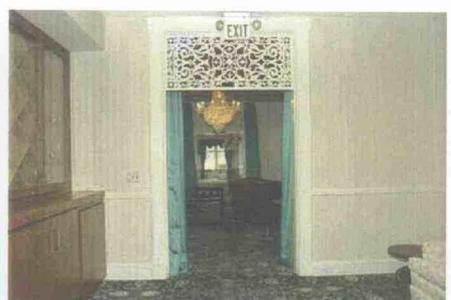
Rm 108 - view southwest



Rm 109 - view east



Rm 109 - view north

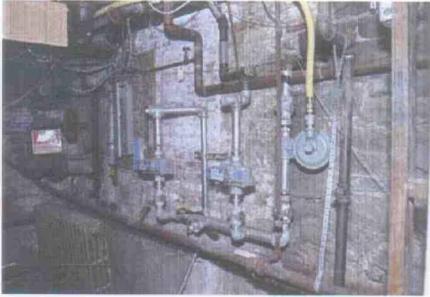


Rm 109 - view south



Rm 109 - view west

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 11 - southwest



Rm 11 - view south



Rm 11 - view southeast



Rm 11, view north



Rm 110 - view north ver 2



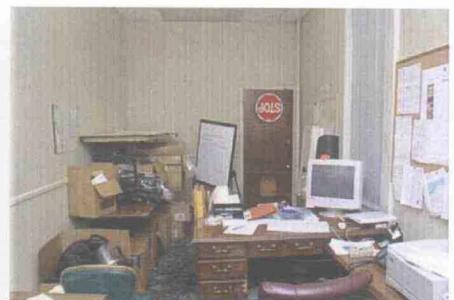
Rm 110 - view north



Rm 110 - view northeast



Rm 110 - view northwest



Rm 110 - view south



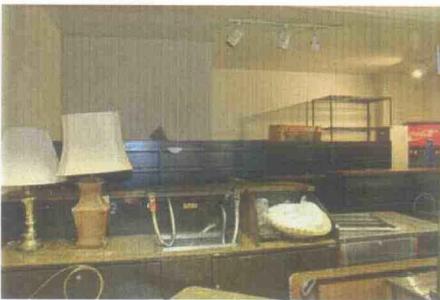
Rm 110 - view southwest



Rm 111



Rm 112 - entry



Rm 112 - view east (left hand section)



Rm 112 - view east (middle section)



Rm 112 - view east (right hand section)

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 112 - view north ver 2



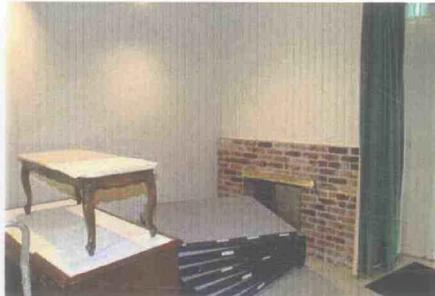
Rm 112 - view north



Rm 112 - view northwest



Rm 112 - view south



Rm 112 - view southeast



Rm 112 - view west (left hand)



Rm 112 - view west (middle)



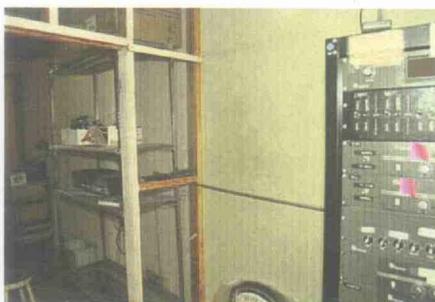
Rm 112 - view west (right hand)



Rm 112A - amplifier



Rm 112A - view north



Rm 112A - view northeast



Rm 112A - view south



Rm 112A - view southwest



Rm 112B - entrance



Rm 112B - view west

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 113 - panorama view northwest



Rm 113 - view east (left hand)



Rm 113 - view east (right hand)



Rm 113 - view north



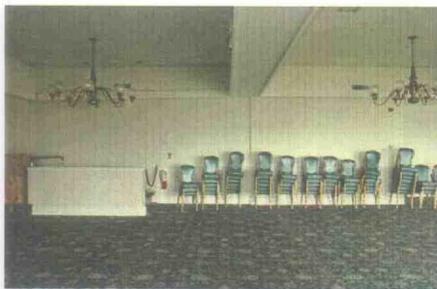
Rm 113 - view northeast



Rm 113 - view south



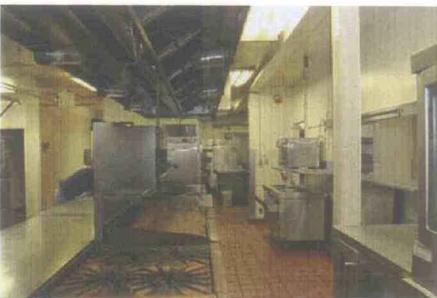
Rm 113 - view southwest



Rm 113 - view west (left hand)



Rm 113 - view west (right hand)



Rm 114 (east) - view north



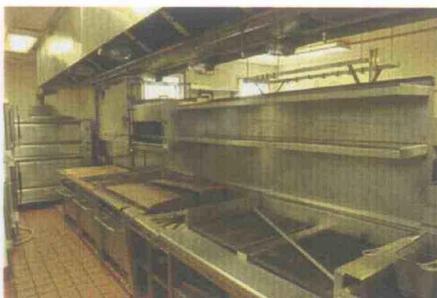
Rm 114 (east) - view northeast



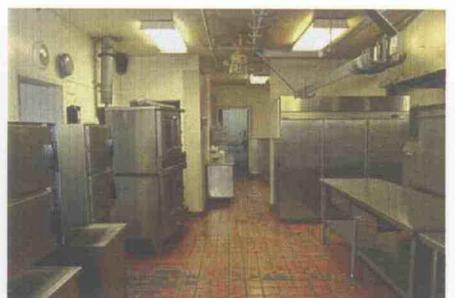
Rm 114 (east) - view south



Rm 114 (east) - view southeast



Rm 114 (east) - view southwest



Rm 114 (west) - view north

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 114 (west) - view northeast



Rm 114 (west) - view south



Rm 114 (west) - view southwest



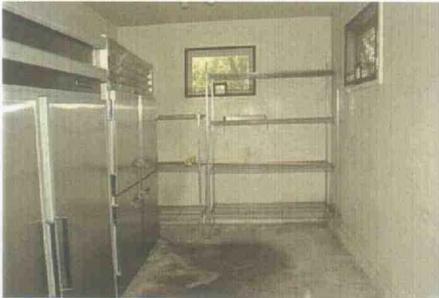
Rm 114 (west) - view west



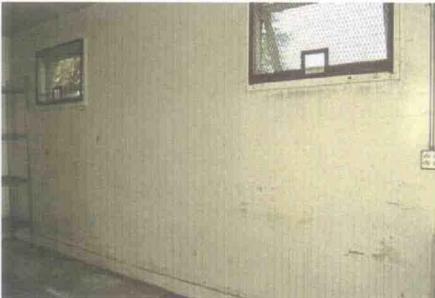
Rm 114A - view north



Rm 114A - view northeast



Rm 114A - view south



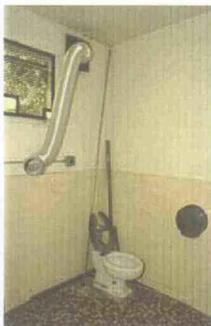
Rm 114A - view southwest



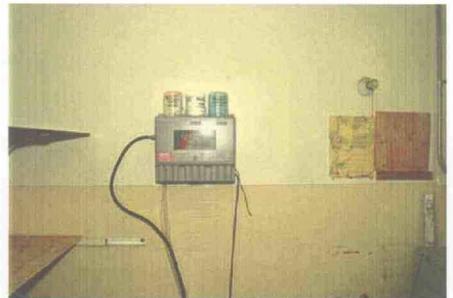
Rm 114B - view east



Rm 114B - view northeast



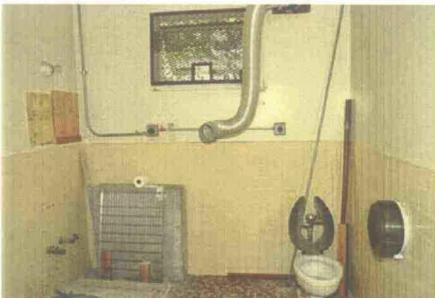
Rm 114B - view northwest



Rm 114B - view south



Rm 114B - view southwest



Rm 114B - view west



Rm 114C - view east

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 114C - view north



Rm 114C - view south (left hand)



Rm 114C - view south (right hand)



Rm 114C - view west



Rm 114D - view north



Rm 114D - view south



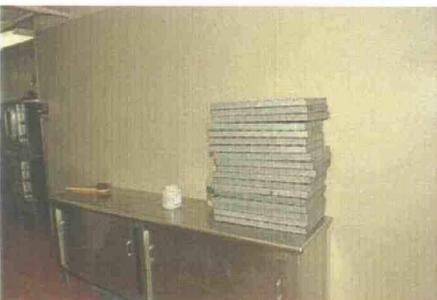
Rm 114E - view north



Rm 114E - view northeast



Rm 114E - view south



Rm 114E - view southwest



Rm 114F - view north



Rm 114F - view northeast

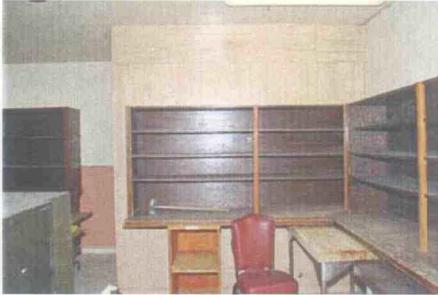


Rm 114F - view northwest



Rm 114F - view south

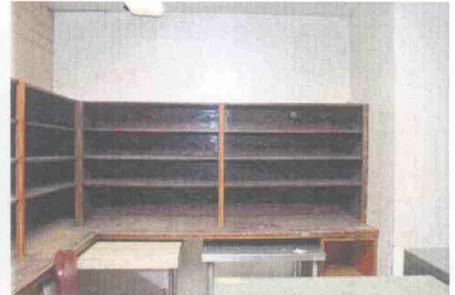
Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 115 - view east



Rm 115 - view north



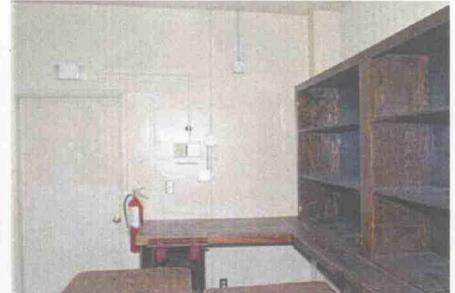
Rm 115 - view south



Rm 115 - view west



Rm 115A - view east



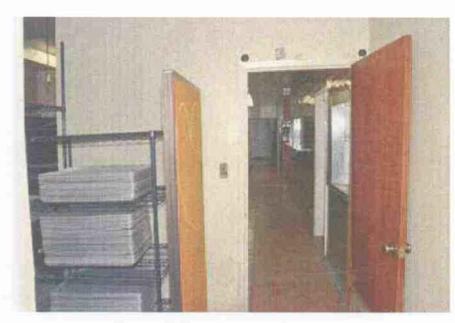
Rm 115A - view north



Rm 115A - view south



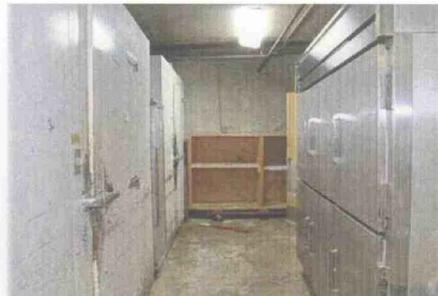
Rm 115B - view north



Rm 115B - view south



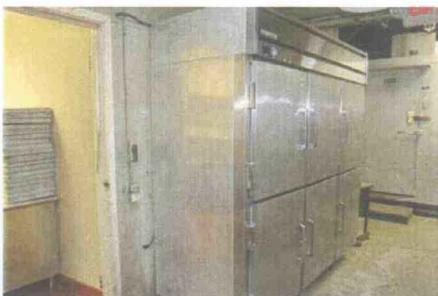
Rm 115B - view west



Rm 116 - view east



Rm 116 - view northeast



Rm 116 - view southwest



Rm 117 - view east



Rm 117 - view north

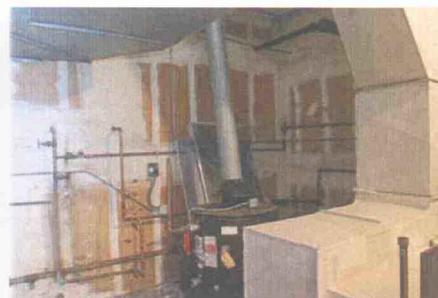
Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 117 - view northwest



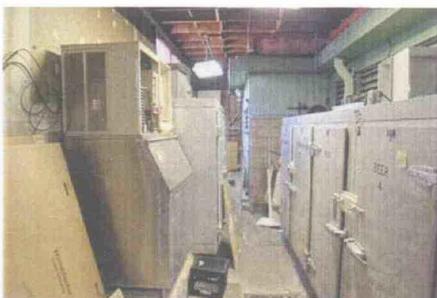
Rm 117 - view south



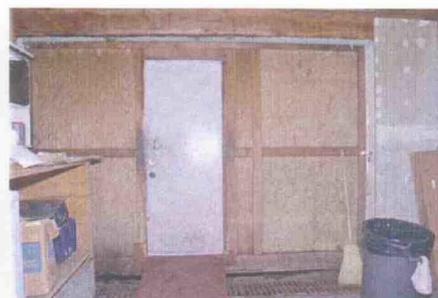
Rm 117 - view southwest



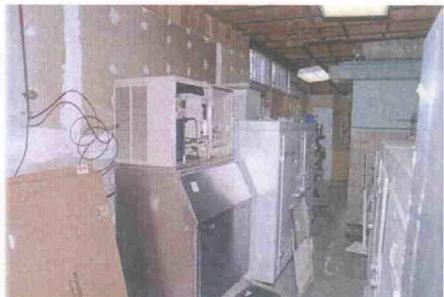
Rm 118 (north) - view east ver 2



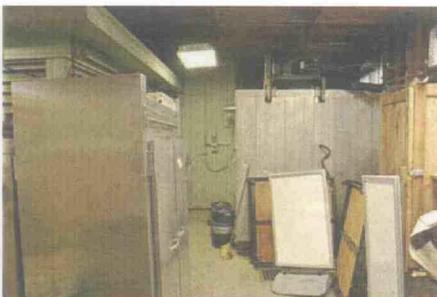
Rm 118 (north) - view east



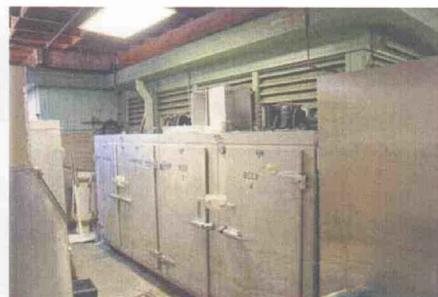
Rm 118 (north) - view north (left hand)



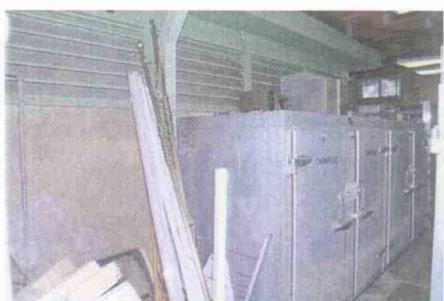
Rm 118 (north) - view northeast



Rm 118 (north) - view south



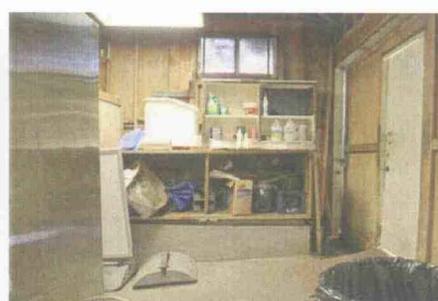
Rm 118 (north) - view southeast



Rm 118 (north) - view southwest



Rm 118 (north) - view west ver 2



Rm 118 (north) - view west



Rm 118 (south) - view north



Rm 118 (south) - view northwest

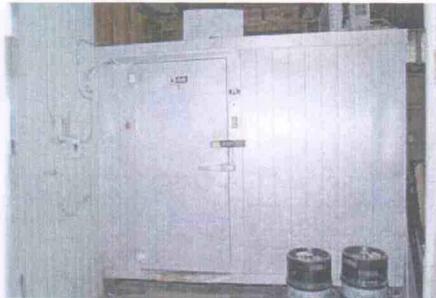


Rm 118 (south) - view south

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 118 (south) - view southeast



Rm 118 (south) - view west (left hand)



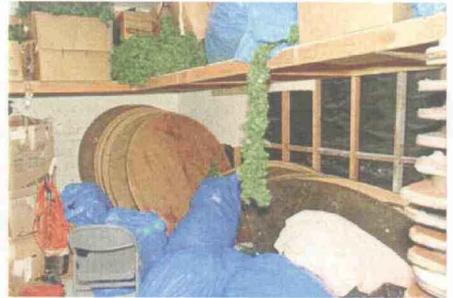
Rm 118 (south) - view west (right hand)



Rm 118 - panorama view south



Rm 119 - view north



Rm 119 - view northeast



Rm 119 - view south



Rm 119 - view southeast



Rm 119 - view west



Rm 120 - view east



Rm 120 - view north



Rm 120 - view northwest



Rm 120 - view south



Rm 120 - view west



Rm 2 - view east

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 2 - view south, sinks



Rm 2 - view south, stall 1



Rm 2 - view south, stall 2



Rm 2 - view south, urinals



Rm 2 - view southwest



Rm 200 (center portion) - view east



Rm 200 (center portion) - view west



Rm 200 (north portion) - view north



Rm 200 (north portion) - view south



Rm 200 (south portion) - view north



Rm 200 (south portion) - view south



Rm 201 - view east



Rm 201 - view north

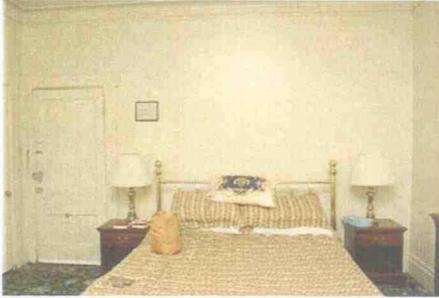


Rm 201 - view south



Rm 201 - view west

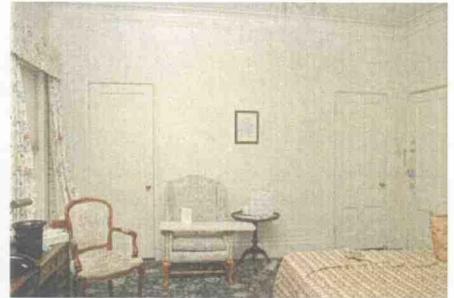
Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 202 - view east



Rm 202 - view north ver 2



Rm 202 - view north



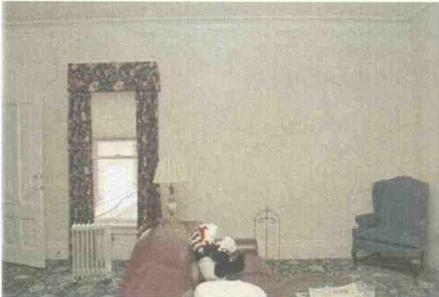
Rm 202 - view south



Rm 202 - view west



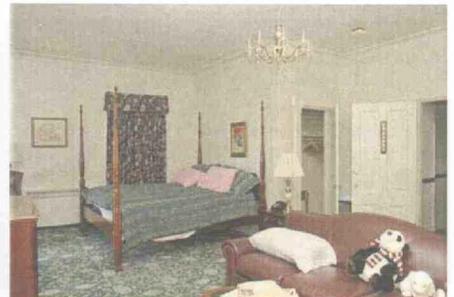
Rm 203 - view east



Rm 203 - view north



Rm 203 - view south



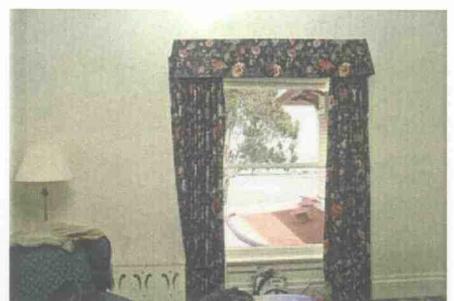
Rm 203 - view southwest



Rm 203 - view west



Rm 203 entry



Rm 204 - view east



Rm 204 - view north



Rm 204 - view south



Rm 204 - view west

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 205 - view north



Rm 205 - view northeast



Rm 205 - view northwest



Rm 205 - view south



Rm 205 - view southwest



Rm 206 - view east



Rm 206 - view north



Rm 206 - view south



Rm 206 - view southwest



Rm 207 - view east



Rm 207 - view north



Rm 207 - view northeast



Rm 207 - view northwest



Rm 207 - view south



Rm 208 - view northwest

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 208 - view southwest



Rm 209 - view northwest



Rm 209 - view southwest



Rm 210 - view northeast



Rm 210 - view northwest



Rm 210 - view southeast



Rm 210 - view southwest



Rm 211 - view east



Rm 211 - view northwest



Rm 211 - view southwest



Rm 213 - view southeast ver 2



Rm 213 - view southeast



Rm 214



Rm 215



Rm 216

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



Rm 218



Rm 219



Rm 220



Rm 221



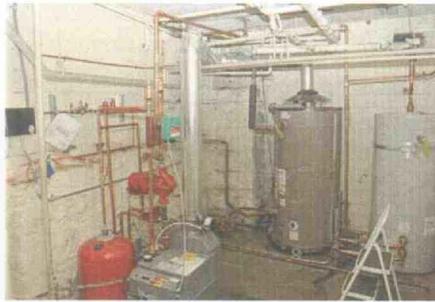
Rm 222 - view east



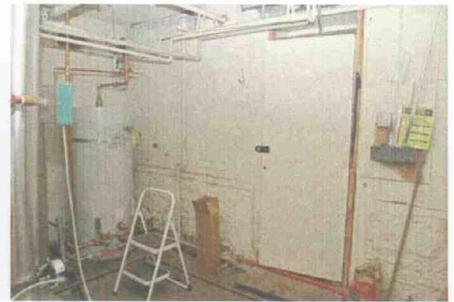
Rm 222 - view north



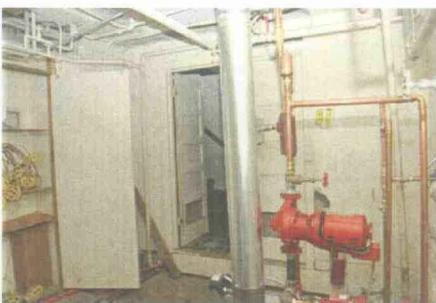
Rm 222 - view west



Rm 3 - view northeast



Rm 3 - view southeast



Rm 3 - view southwest



Rm 5 - view northwest



Rm 5 - view southwest



Rm 6, east portion - bar



Rm 6, east portion - view east

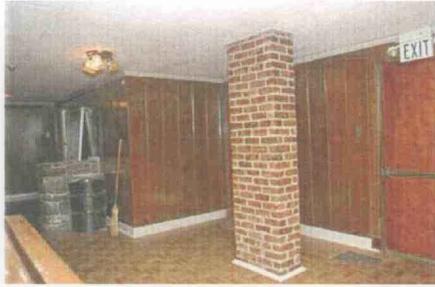


Rm 6, east portion - view north ver 2

Fort Mason Officer's Club Interior Views, June 2004 by John Martini



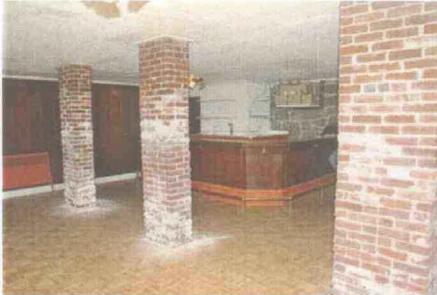
Rm 6, east portion - view north



Rm 6, east portion - view northwest



Rm 6, east portion - view south



Rm 6, east portion - view southwest



Rm 6, east portion - view westnorthwest



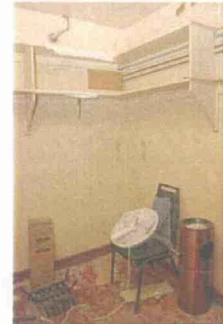
Rm 6, west portion - view northeast



Rm 6, west portion - view west



Rm 7 - view north



Rm 7 - view northwest



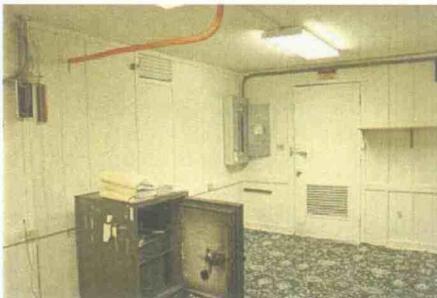
Rm 7 - view southeast



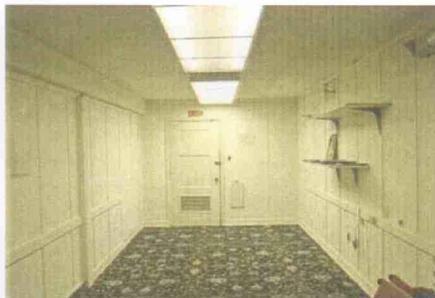
Rm 9 - view north



Rm 9 - view northeast



Rm 9 - view northwest



Rm 9 - view south



Rm 9 - view southwest

**Appendix C**  
*Survey Notes*

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 1 Room Name Lobby

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding  thin trim at ceiling seam

ceilings  flat plaster  plaster rosette  acoustical tile

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
 (1) pair of 4-panel w/ screen wood from boiler room size 30' x 80'  light transoms (2) men's room hollow core 32' x 79'

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type  NH hardware

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

✓ mill work \_\_\_\_\_

fixtures NH

light fixtures NH dome light

heating elements  ornate radiator  simple radiator  register grates  steam pipe

✓ plumbing elements \_\_\_\_\_

✓ electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting remnants of electrical panel

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 2 Room Name Men's Room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic <sup>8" sq</sup> tiles  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  NH 9" profiled  flat 12"

walls  flat plaster  NH flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  NH crown molding

ceilings  flat plaster  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  NH brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH sinks, urinals, toilets

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace  firebox \_\_\_\_\_  mantle \_\_\_\_\_  hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 3 Room Name Boiler Room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls linen blocks, stone rubble wall  
 flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  gyp board

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
boiler door size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware NH  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe boiler

plumbing elements hot water heater, steam pipes, ~~hot~~ water pipes

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Comments

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 4 Room Name Storage (off Lobby)

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12" 3" flat 3"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 4-panel w/ vent  
32 x 79  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work NH wooden shelves

fixtures \_\_\_\_\_

light fixtures bare bulbs

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 5 Room Name Foyer

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  flat 5 1/2"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  acoustical tiles

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 35 1/2 x 77  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

✓ mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH 3 bulb light

heating elements  ornate radiator  simple radiator  register grates  steam pipe

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets 1  water sprinkler system  exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 6 Room Name Rathkeller

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet  
 1) NH 6 1/2" sq wood tile flooring 2) 12" vinyl tiles behind bar area  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board  
 unreinforced stone rubble wall 11" vertical wood paneling

trims  picture rail  chair rail  crown molding (NH?)

ceilings  flat plaster  plaster rosette  acoustical tiles

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
 (in from storage: #8 31 x 78 hollow core) in from storage: #7: 20 x 79 3 panel door  
 light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type  
 NH

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

mill work 2 small NH shelves behind bar

fixtures \_\_\_\_\_

light fixtures 5 sets of 3 small Antik globes

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements sink in bar

electrical elements # of outlets 2  water sprinkler system  exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

Comments

The wooden bar is a wide L-shape and stands 44" tall and 23" deep. There is a brass pipe foot rest underneath the entire bar.

Behind the bar is a 3-door refrigerator and storage containers, top with formica. There is a keg spigot in the middle of the counter. Underneath the bar are wooden drawers, the cash till and the metal sink area.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 7 Room Name Storage (off Rathskeller)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5" <sup>concrete</sup>  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding <sup>exposed framing and metal mesh</sup>

ceilings  flat plaster  plaster rosette  gyp board

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
 (swing into #6) size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work INTL wooden shelves

fixtures \_\_\_\_\_

light fixtures bare incandescent bulbs

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 8 Room Name storage (off Basement office)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl <sup>12" vinyl tiles</sup>  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5" <sup>vinyl</sup>  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette

doors <sup>(swing into #6)</sup>  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware <sup>NH</sup>  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 9 Room Name Basement Office

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding paneling w/ battens

ceilings  flat plaster  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

1) front door 2-panel, 37" x 78" w/vent size flat 3" 2) closet door #13, 24" x 78"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work NH shelves and book case

fixtures \_\_\_\_\_

light fixtures fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 3  water sprinkler system  exit lighting

fireplace  fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 10 Room Name Basement office

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  NH 2" baseboard  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  NH wainscot  gyp board

trims  picture rail  chair rail  crown molding *paneling*

ceilings  flat plaster  plaster rosette  gyp board

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 36" x 80"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  NH brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 2  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 11 Room Name Utilities

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic  concrete  + wooden plank subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board  
*foundation wall, common bond brick*

trim  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  exposed framing

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 2-panel w/ vent 32x79  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing  
*(possibly historic)*

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures electrical system, metering system, sprinkler system

light fixtures bare light bulbs

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

(locked)

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 12 Room Name Janitors Closet

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: T & G hardwood T& G softwood vinyl carpet  
ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12"

walls flat plaster flat plaster with wallpaper tile wainscot gyp board

trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette

doors 3-panel 4-panel 5-panel hollow-core solid-core  
size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings profiled casings profiled sill flat casings flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures \_\_\_\_\_

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 13 Room Name closet (electrical panel)

historic value:       very significant       significant       contributing       non-contributing  
*circuit breaker*

**components:**

floors/substrate:       T & G hardwood       T& G softwood       vinyl       carpet  
 ceramic       concrete      subflooring visible?  Yes       No

baseboards       flat 5"       profiled 10"       profiled 12"       flat 12"

walls       flat plaster       flat plaster with wallpaper       tile       wainscot       gyp board

trim       picture rail       chair rail       crown molding       plywood

ceilings       flat plaster       plaster rosette       exposed framing

doors  
(inb # 9)       3-panel       4-panel       5-panel       hollow-core       solid-core  
size \_\_\_\_\_       light transoms

door casings       profile door casing       flat door casing       flat chamfered door casing

door hardware       brass doorknob       brass knob top       brass key type

windows      # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings       profiled casings       profiled sill       flat casings       flat sill

mill work      \_\_\_\_\_

fixtures      \_\_\_\_\_

light fixtures      base bulb

heating elements       ornate radiator       simple radiator       register grates       steam pipe

plumbing elements      \_\_\_\_\_

electrical elements      # of outlets home of circuit breaker       water sprinkler system       exit lighting

fireplace      fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KVB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 101 Room Name Ball room

historic value:  very significant  significant  contributing  non-contributing  
C 1948

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet good cond

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  pointed 5" NH good cond.

walls  flat plaster  gypbd flat plaster with wallpaper  tile  wainscot  gyp board  
good cond, ugly, peeling in a couple places

trims  picture rail  good chair rail  NH crown molding chair rail - very small

ceilings  flat plaster  plaster rosette  NH vinyl acoustical tiling  
1x1, embossed vinyl, white - good cond

doors  3-panel  4-panel  5-panel  hollow-core  solid-core except 5 tile where something was boarded  
size \_\_\_\_\_  light transoms  NH wood accordion door

door casings  profile door casing  rounded corners flat door casing  flat chamfered door casing  
somewhat chipped

door hardware  brass doorknob  brass knob top  brass key type

windows single glazed # of windows 15 window type 1-light hopper / "30" x 22" NH valance + window coverings curtains  
"30" x 48"

window casings  profiled casings  profiled sill  flat casings  flat sill  
chipped, many layers of paint

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH 5 brass chandeliers / 1 brass chandelier sconce - ugly

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements  floor registers 7 @ 4" x 12", 1 @ 8" x 18" return  ceiling heating grates 2 @ 18" x 30"

electrical elements # of outlets 13  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_  mantle \_\_\_\_\_  hearth \_\_\_\_\_

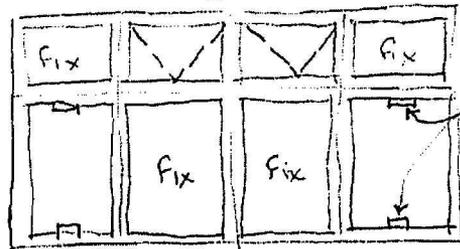
fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

**Comments**

- 1 glass exit door to East elevation, 1-light transom over glass door
- pair of 6-panel, wooden exit doors at west elevation, with a bisected transom light.
- circuit breaker on south wall
- North wall - Gypbd was probably added over original wood siding

- Windows  
3 sets of 4 on East's



remnants of some type of hardware, long since removed and painted over.

2 sets of 2 on South - one window shows signs of rot, another window looks like it has been patched. Signs of water penetration.

- Ceiling - Wires coming out of ceiling - maybe TV or projector

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 102 Room Name Library

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet *good*  
 ceramic  concrete subflooring visible?  Yes  No *visible from crawl space*

baseboards  flat 5"  profiled 10"  profiled ~~10"~~ 11" *good cond*  flat 12"

walls  flat plaster  flat plaster with wallpaper *gyp board*  tile  wainscot  gyp board *NH*

trims  picture rail *NH*  chair rail *good*  crown molding *2 layers of 1/2" gyp board*

ceilings  flat plaster  plaster rosette *good* *door rail was installed after 1950s.*

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
*4 panel w/ chamfers* size 35 1/2 x 79 *good cond*  light transoms *replaced w/ wood because painted over stairway blocks it.*

door casings  profile door casing *chipped, many layers of paint*  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type *skeleton key NH valances*

windows *good condition* # of windows 4 window type 1/1 double-hung window coverings + curtains

window casings  profiled casings *good condition*  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH brass + glass candleabra - good cond.

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements *water pipes* \_\_\_\_\_

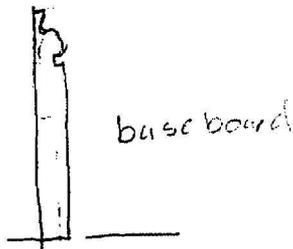
electrical elements # of outlets 5  water sprinkler system  exit lighting

fireplace fire place marble mantle marble hearth marble  
fire box decorative accessories \_\_\_\_\_ *good cond*  
*grate box cover*

## Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

### Comments

- NH commemorative plaque regarding Funston's role during the 1906 earthquake.
- 2 electrical outlets on ceiling immediately next to sprinkler heads (I trust that they no longer work)



- The chair rail in this room is a non-historic element, it was probably added between 1960s + 1980s.
- The walls are not plaster but 2 layers of 1/2" thick gypboard.

K1b  
JC

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 103 Room Name Powder Room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet *good*

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  *NH profiled's good*

walls  flat plaster  *gyp bld good* flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  *good* chair rail  crown molding *(both NH)*

ceilings  flat plaster  plaster rosette  *gyp bld - good*

doors  3-panel  *hist. good* 4-panel  5-panel  hollow-core  solid-core

size 42 x 106 1/2"  light transoms

door casings  *NH - good* profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work marble top table w/ wooden turned legs

fixtures \_\_\_\_\_

light fixtures NH brass + glass candleabra, NH light over table *4 sconces*

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

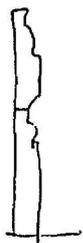
electrical elements # of outlets 3  water sprinkler system  exit lighting  *emergency lighting*

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Comments



Almost like a baseboard and a chair rail put together



chair rail is a two piece - 6" high

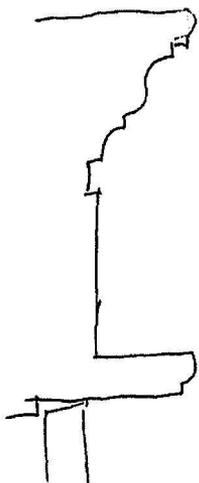


crown is almost 10"



door jamb

All trim is oversized, w/ oak laminate over something. All trim is non-historic



door head

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 103A Room Name women's bathroom stalls

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic <sup>8x8 tile</sup>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled <sup>NH</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trim  picture rail  chair rail  crown molding <sup>dr (NH)</sup>

ceilings  flat plaster <sup>gyp bd</sup>  plaster rosette  dropped ceiling

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 36" x 79"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures 2 sinks installed in marble counter - good hardware is getting loose + losing its finish

light fixtures 2 - 1x4 surface fluorescent, 2 - 2 lite sconces

heating elements  ornate radiator  simple radiator  register grates  steam pipe  fan

plumbing elements 2 toilets - 1 reg tank type, 1 w/wall mounted wood grain tank

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace  fire replace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 103B Room Name women's bathroom stall H.C.

historic value: very significant significant contributing non-contributing

-----components:

floors/substrate: T & G hardwood T & G softwood vinyl carpet

ceramic <sup>8x8 tile</sup> concrete subflooring visible? Yes No  
<sub>good</sub>

Frame as 103 →

flat 5" profiled 10" profiled 12" flat 12" profiled <sup>3"</sup>

walls flat plaster flat plaster with wallpaper <sup>gyp bd</sup> tile wainscot gyp board  
<sub>good</sub>

trims picture rail chair rail crown molding

ceilings flat plaster <sup>gyp bd</sup> plaster rosette dropped ceiling

doors 3-panel 4-panel 5-panel hollow-core solid-core

size \_\_\_\_\_ light transoms 1-panel - oak laminate  
<sub>NH good cond</sub>

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type NH Brass lever  
<sub>good</sub>

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings profiled casings profiled sill flat casings flat sill

mill work installed double sink in marble counter

fixtures NH sink, NH toilet, NH grab bar

light fixtures pair of light sconces 2 single sconces

heating elements ornate radiator simple radiator register grates steam pipe  
<sub>in ceiling</sub>

plumbing elements wood tank

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 104 Room Name staircase area (leading to 2<sup>nd</sup> floor landing)

historic value:  very significant  significant  contributing  non-contributing

components: Everything in generally same condition as 106

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet good

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding rectangular trim panel

ceilings  flat plaster  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows in 2<sup>nd</sup> floor landing # of windows 1 window type 1/1 double-hung window coverings NH curtain + valance

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work stairs. see comments

fixtures \_\_\_\_\_

light fixtures hanging crystal chandelier - good

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

Comments

- wooden staircase w/ wood treads + risers, turned balusters and turned newel post, 7 1/8" rise 11" run
- wooden banister
- decorative carriage design
- narrow
- stairstair and short banister leading to basement level

All staircase elements are in good condition. Wall mounted railing is non-compliant code wise

- The chair rail is non-historic

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 105 Room Name Parlor

historic value:  very significant  significant  contributing  non-contributing

----- components:

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet good  
 ceramic  concrete subflooring visible?  Yes  No good

baseboards  flat 5"  profiled 10"  profiled 12" good  flat 12"

walls  flat plaster  flat plaster with wallpaper visible seam in wall paper over fireplace  tile  wainscot  gyp board

trims  picture rail  chair rail good  crown molding decorative plaster work

ceilings  flat plaster good condition  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing good - same as 101

door hardware  brass doorknob  brass knob top  brass key type NH floor to ceiling curtains

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wood screens at top of openings

fixtures \_\_\_\_\_

light fixtures NH light chandelier - crystal - good

heating elements  ornate radiator  simple radiator  register grates  steam pipe Just runs thru space, doesn't heat it

plumbing elements \_\_\_\_\_

electrical elements # of outlets 4  water sprinkler system  exit lighting

fireplace wood w/ small carvings good cond except smoke damage  
fireplace wooden mantle wooden hearth tile and black tile surround

fire box gas cooled accessories brass screen + log posts

mantle is blackened by smoke or soot, needs cleaning

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Comments

- door frame leading to 108 (Social Hall) are flat (later opening to addition) <sup>indicates</sup>
- ~~Pair of pocket doors~~ 2 panel w/ 4-lights; 48 x 119" <sup>10'</sup>, brass key type, brass locks
- decorative <sup>wood</sup> work at the top of the 3 door frames

KLB  
IL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 106 Room Name Reception Hall

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet good  
 ceramic  concrete subflooring visible?  Yes  No Feels solid

baseboards  flat 5"  profiled 10"  profiled 12" <sup>Painted wood good</sup>  flat 12"

walls  flat plaster  flat plaster with wallpaper <sup>gypsum - good condition</sup>  tile  wainscot  gyp board  
<sup>textured wallpaper - good</sup>

trims  picture rail  chair rail <sup>NH</sup>  crown molding <sup>decorative plaster work</sup>  
<sup>Painted wood - good</sup>

ceilings  flat plaster  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type  
<sup>Painted wood - chipping at corners. Some door casings are original while others are replicas.</sup>

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work decorative table surrounding radiator

fixtures \_\_\_\_\_

light fixtures NH chandelier; NH brass lamp over commemorative plaque  
<sup>good condition</sup>  
<sup>good cond, burned out bulbs</sup>

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
<sup>radiator cover - metal, fake wood grain</sup>

plumbing elements \_\_\_\_\_

electrical elements # of outlets 6  water sprinkler system <sup>questionable placement</sup>  exit lighting <sup>fire alarm</sup>  
<sup>decorative metal switch plate</sup>

fireplace wood fireplace wooden mantle <sup>hard</sup> tile w/ brass fence hearth

fire box \_\_\_\_\_ accessories brass screen + posts  
<sup>good</sup>  
<sup>gas fueled</sup>  
<sup>haven't checked if this works</sup>

## Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

### Comments

- staircase wooden treads + risers; turned balusters + newel post  
NH carpet covering; decorative stair carriage, wooden hand rail
- decorative iron work at <sup>the top of the 2</sup> room openings
- brass commemorative plaque with names of commanding generals, mounted on wood frame on wall.
- NH decorative wood-frame mirror
- decorative table top (previously a fireplace?); marble top, decorative wooden support piers, metal radiator screen.
- Windows the two extremely large double-hung windows are 10'6" high with a 3" sill hgt. They are painted shut, but the cords are still attached. The glass is single, but probably should be safety.
- Decorative Table - appears to be the top part of a fireplace with a marble top added. Hardwood is in good condition, as is marble. Don't know what notches are for.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 106A Room Name Coat Room

historic value:  very significant  significant  contributing  non-contributing

----- components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet  
*VCT poor condition*  
 ceramic  concrete *2 1/2" heavy tiles - white - fair condition where visible* subflooring visible?  Yes  No *plywood*

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profile 8" *vinyl*

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board *fair gyp board painted over*

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  access to upper floor area *+ gyp bd NH dropped ceiling*

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 31 3/4 x 82"  light transoms *split Dutch door*

door casings  profile door casing  flat door casing  flat chamfered door casing *1 1/2" and 3 1/2"*

door hardware  brass doorknob  brass knob top  brass key type *NH*

windows # of windows 3 window type single-light double pane obscure glass window coverings metal screen good cond *x-large, may provide NH security*

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work NH book shelves

fixtures \_\_\_\_\_

light fixtures NH fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe *runs thru*

plumbing elements \_\_\_\_\_

electrical elements # of outlets 2  water sprinkler system  exit lighting

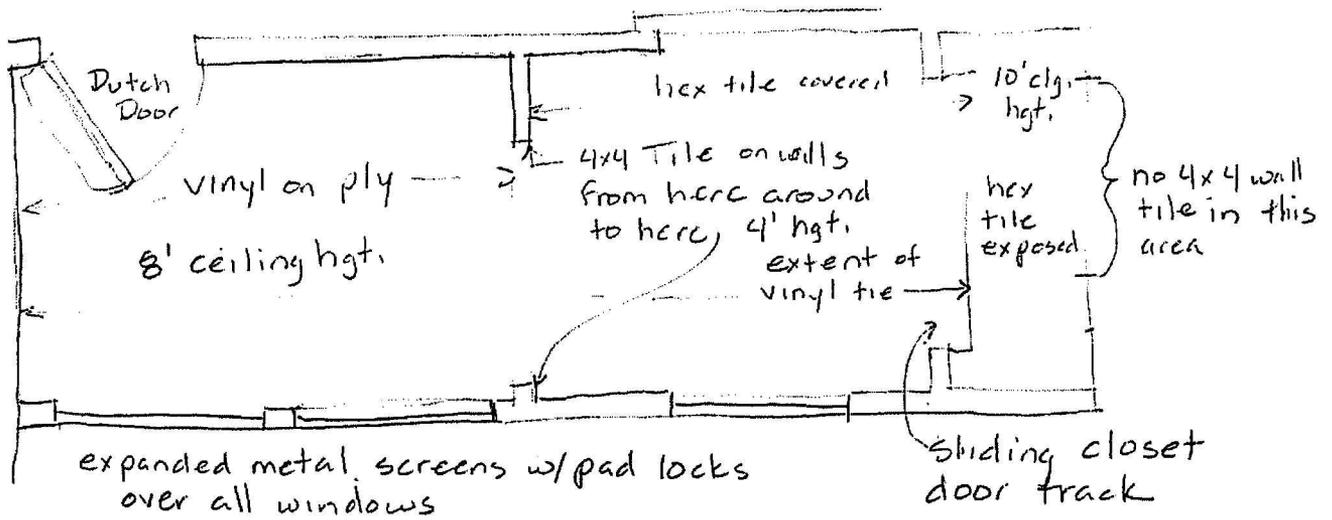
fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

**Comments**

- This room was originally the general's private bathroom off his office (1887 plan). It was converted to a coat room in the late 1950s to 1960s
- Coat Room was inserted in as a framed unit. w/ upper ceiling
- Concrete or masonry tiles on bottom half of west wall + past



**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 106B Room Name Small hallway in front of bldg

historic value: very significant significant contributing non-contributing

components: Condition similar to 106

floors/substrate: T & G hardwood T & G softwood vinyl carpet

ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12"

walls flat plaster flat plaster with wallpaper tile wainscot gyp board w/ wall paper  
8 holes in wall where something was mounted.

trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette

doors 3-panel 4-panel 5-panel hollow-core solid-core

size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type

windows # of windows 2 window type X-large single-pane simulate-wood window coverings NH curtains  
2 11' x 17' 6" - painted shut

window casings profiled casings profiled sill flat casings flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH brass + glass sconce

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

fireplace fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 107 Room Name Conservatory

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet good  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  
*on old wall*  
3 different types of baseboards, 3 1/2" profiled on curving wall

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board w/wall paper  
mostly good cond w/ peeling below Jalousie windows

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  acoustic tile - good  
*dropped*

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 48 X 118 "very big"  light transoms  pair of 4-light, 2-panel pocket door - good cond  
Historic

door casings  profile door casing  flat door casing  flat chamfered door casing - good cond  
similar to other rooms

door hardware  brass doorknob *pop out handles not working*  brass knob top  brass key type decorative brass  
finish is good cond

windows # of windows 10 window type 2 1-pane, 4 1-pane window coverings NH decorative  
*frosted glass windows leading to dining room* *wooden covering*

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work NH raised wooden bar area, w/ glass + brass details, wooden + brass hanging glass rack suspended from ceiling; built-in wine rack - oak millwork in good cond

light fixtures recessed incandescent cans - 43 total - good cond

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
 heating registers in floor - working

plumbing elements \_\_\_\_\_

electrical elements # of outlets 4  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

## Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

### Comments

The brass hardware on the historic pocket doors is in good condition. It is not painted over and the brass is shiny. The pop-out handles are broken, but probably could be repaired. One leaf has a key hole, the other doesn't.

Windows in conservatory are simple, rectangular, fixed single-glazed, except for the two bays at the ends. These have a fixed center panel and jalousie windows above and below. The jalousie windows are not suitable for this building for thermal and moisture leakage reasons.

KLC  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 108 Room Name Entry Room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet <sup>Carpet squares</sup> good  
 ceramic  concrete subflooring visible?  Yes  No <sup>Feels solid</sup>

baseboards  flat 5"  profiled 10"  profiled 12" <sup>Painted wood good</sup>  flat 12"

walls  flat plaster  flat plaster with wallpaper <sup>Plaster not visible but appears good</sup>  tile  wainscot  gyp board  
<sup>Textured wall paper - good</sup>

trims  picture rail <sup>Painted wood - good</sup>  chair rail  crown molding

ceilings  flat plaster <sup>good</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
<sup>Pair size 28 1/2 x 96</sup>  light transoms <sup>alum-good</sup> <sup>2 NH glass + alum doors</sup>

door casings  profile door casing  flat door casing  flat chamfered door casing <sup>Painted wood - good</sup>

door hardware  brass doorknob  brass knob top  brass key type <sup>NH door hardware sec reverse</sup>

windows # of windows 2 window type fixed single pane window coverings NH valances

window casings  profiled casings <sup>Painted wood - good</sup>  profiled sill  flat casings  flat sill

mill work 2 hanging wooden display cases - NH

fixtures \_\_\_\_\_

light fixtures NH dome light - Home Depot style

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

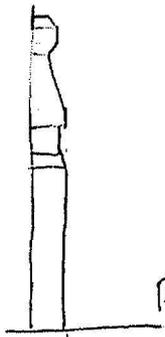
fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

**Comments**

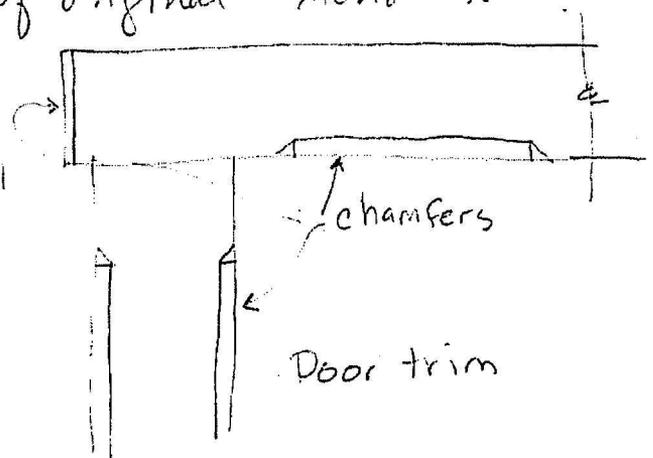
chamfered ceiling beam - evidence of original exterior wall



Baseboard profile

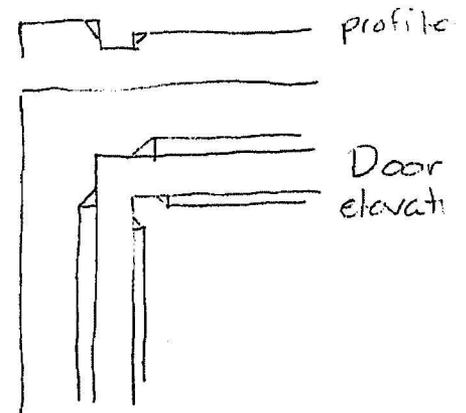


Chair rail profile



Non historic door hardware

Door lock is not secure  
weather stripping is inadequate, large gaps  
Door swings over front step - unsafe entrance



Historic door into Rm 116

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 109 Room Name cocktail nook

historic value:  very significant  significant  contributing  non-contributing

----- components:

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet good

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 8" <sup>scuffed</sup>  
<sub>same as dining rm</sub>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail <sup>good</sup>  crown molding <sub>fair</sub>

ceilings  flat plaster  plaster rosette  dropped acoustical tile - good

✓ doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

✓ door hardware  brass doorknob  brass knob top  brass key type <sub>↳ on one opening ↳ on other - good</sub>

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

mill work NH built-in <sup>keg storage</sup> refrigerators, glass doors to wine rack NH  
wood carved grille above one door

✓ fixtures \_\_\_\_\_

light fixtures 6 recessed incandescent cans - good

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets 1  water sprinkler system  exit lighting  circuit box

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

- Circuit breaker on North wall

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 110 Room Name Office (park police)

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 3"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

w/ wallpaper

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  dropped acoustical tile ceiling

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

NH

windows # of windows 2 window type 1/2 double-hung window window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures fluorescent

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 2  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 111 Room Name Coat Room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet - good  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  flat 2 1/2" <sup>good</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board - good

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  gyp bld rough openings for sprinkler + junction box

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 36" x 81" <sup>very good cond. probably NH</sup>  light transoms  2 panel wood transom

door casings  profile door casing  flat door casing <sup>good cond.</sup>  flat chamfered door casing  
 flat door casing inside room

door hardware  brass doorknob  brass knob top  brass key type

windows <sup>good cond.</sup> # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wooden <sup>rod +</sup> shelf on 2 1/2 walls

fixtures \_\_\_\_\_

light fixtures NH globe + wooden fan - pull string, no switch

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 112 Room Name Serving Area

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet <sup>in poor condition - chipped + broken</sup>  
 ceramic <sup>6x6 quarry</sup>  concrete <sup>in fair condition</sup> subflooring visible?  Yes  No <sup>drains in floor</sup>

baseboards  flat 5"  profiled 10"  profiled 12" <sup>good cond</sup>  flat 12"  flat 3"  ceramic 6" tiles  vinyl 4" <sup>poor cond</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sup>gypbd - fair cond 4x4 red - good w/ wall paper</sup>

trims  picture rail  chair rail  crown molding

ceilings  flat plaster <sup>gypbd good</sup>  plaster rosette  dropped press-board tiles - good

doors  3-panel  4-panel  5-panel  hollow-core  solid-core <sup>2nd door: hollow-core 36"x79 1/2" swinging in from Room 111</sup>  
size 41 1/2" x 106" Hist  light transoms <sup>good cond</sup>

door casings  profile door casing  flat door casing  flat chamfered door casing <sup>NH</sup>

door hardware  brass doorknob  brass knob top  brass key type - fair cond <sup>NH</sup>

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures see comments

light fixtures incandescent track lighting; row of fluorescent 1x4 recessed

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 8  water sprinkler system  exit lighting

fireplace fireplace brick mantle none hearth vinyl flooring covers what was hearth  
fire box masonry accessories metal mesh screen attached to brick  
Although there may have been a fire in this location historically, the current fire does not retain many historic elements.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

- fixtures: light menu sign mounted on wall; serving buffets, on wheels, refrigerator; beverage coolers on wheels
- <sup>used as</sup> storage room for various restaurant appliances. shelvings, tables, soda fountain dispenser, wooden desks, washing machine, pianos
- pass-thru windows connecting kitchen to cafeteria.
- opening in wall to dishwasher area
- due to storage use, we cannot fully survey for outlets or room condition

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 112A Room Name Liquor Locker

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: T & G hardwood T& G softwood vinyl carpet

ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12" flat 3

walls flat plaster flat plaster with wallpaper tile wainscot gyp board

trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette gyp board

doors 3-panel 4-panel 5-panel hollow-core solid-core

size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware <sup>NH</sup> brass doorknob brass knob top brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings profiled casings profiled sill flat casings flat sill

mill work 7'-8' tall shelves along west wall

fixtures \_\_\_\_\_

light fixtures single fluorescent bulb

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements heating grates in ceiling

electrical elements # of outlets 2 water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

Comments

- This room is currently housing the musical system, and the fountain drinks mechanical system.
- There is a register in the north wall - either part of a heating system or a refrigerator vent.

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 112B Room Name Kitchen office

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet

ceramic <sup>excellent</sup>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  6" tile <sup>good</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sup>sheet metal poor</sup>

trim  picture rail  chair rail  crown molding

ceilings  flat plaster <sup>poor</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 32" x 79 1/2"  light transoms <sup>w/diamond window - good protective metal covering</sup>

door casings  profile door casing  flat door casing <sup>good</sup>  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures fluorescent - 4 bulb can't find switch.

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KUB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 113 Room Name Dining Room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet *good cond fading slight*  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  8 1/2" profiled *good*

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board *good condition*

trims  picture rail  chair rail *NH good*  crown molding

ceilings  flat plaster  plaster rosette  dropped acoustical tile *fair cond 2 sqs missing some pulling away*

doors  3-panel  4-panel  5-panel  hollow-core  solid-core w/ *diamond high good cond*  
size 36" x 80"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing  
*1x2, 1x4 and 1x6 depending on door*

door hardware  brass doorknob  brass knob top  brass key type  other *non-compliant hardware NH valence*

windows 52 x 99" # of windows 13 window type  1-light *heavy* window coverings \_\_\_\_\_  
*good cond*

window casings  profiled casings  profiled sill  flat casings  flat sill  
*Sills are NH furniture shelf marble - A few have cracked corners*

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures 6 brass candelabras w/ 8 glass globes each - good cond

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
*heating register grates in ceiling - supply + return*

plumbing elements \_\_\_\_\_

electrical elements # of outlets 16  water sprinkler system  exit lighting

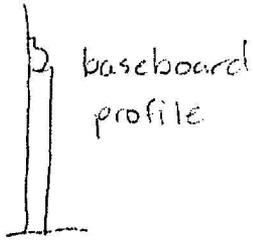
fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Comments

- the 1 solid core door swings out from the kitchen  
(there are 3 other doors but they swing out into other rooms)
- at south west corner, staircase area leading to basement.



KLB  
JL

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 114 Room Name Kitchen

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet  
 ceramic <sup>ex. lo</sup> <sub>poor</sub>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  6" tile - fair

walls  flat plaster  flat plaster with wallpaper  tile <sub>4x4 ceramic</sub>  wainscot  gyp board <sub>fair</sub>

✓ trims  picture rail  chair rail  crown molding

ceilings  flat plaster <sub>fair</sub>  plaster rosette

✓ doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing <sub>poor</sub>  flat chamfered door casing

✓ door hardware  brass doorknob  brass knob top  brass key type

windows # of windows 2 window type awing window coverings metal security mesh

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures see comments

light fixtures fluorescent - poor cond 7-4 lite fixtures ~2011

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements water pipes, 2 large sinks

electrical elements # of outlets 3  water sprinkler system  exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

• fixtures include: double conventional oven; stack of 3 pizza ovens, fryolater, microwave, griddles, grills, cook top ranges, refrigerators; baking ovens; hypersteam machines; working tables, shelving, double-wide sink

ceiling: hanging pots apparatus; mounted steel hood w/ lights exhaust systems

Did not access condition of any equipment

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 114A Room Name Dry Storage

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet  
 ceramic  concrete <sup>fair</sup> subflooring visible?  Yes  No

baseboards  flat 5" <sup>poor</sup>  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sup>poor</sup>

✓ trims  picture rail  chair rail  crown molding <sup>reposed framing</sup>

ceilings  flat plaster  plaster rosette  dropped ceiling

✓ doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

✓ door hardware  brass doorknob  brass knob top  brass key type

windows # of windows 3 window type awning <sup>fair</sup> window coverings metal security screens

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work built in wooden shelved - poor cond

fixtures 2 sets of commercial refrigerators, 1 stainless steel table

light fixtures 2 incandescent globes - fair

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

✓ fireplace fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_  
fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

• date of construction for this room

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 114B Room Name women's room, kitchen

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic <sup>1x1</sup> <sub>floor</sub>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sup>poor</sup> <sub>condition</sub>

trims  picture rail  chair rail  crown molding <sup>4x4 ceramic - poor</sup>

ceilings  flat plaster <sup>gypbd</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core <sup>poor</sup>  solid-core

size 32" x 80"  light transoms

door casings  profile door casing  flat door casing <sup>poor</sup>  flat chamfered door casing

door hardware  brass doorknob <sup>NH door knob - good</sup>  brass knob top  brass key type

windows # of windows 1 window type wood-frame <sup>fair</sup> window coverings metal security screening

window casings  profiled casings  profiled sill  flat casings  flat sill <sup>4 1/2" x 2 1/2"</sup>

mill work wooden shelves - not real shelves

fixtures \_\_\_\_\_

light fixtures NH incandescent dome

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH toilet, remnants of laundry system <sup>exhaust vent</sup>

electrical elements # of outlets 2  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 114C Room Name men's room

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic <sup>1x1 floor</sup>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  4" tile <sup>por</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding <sup>4x4 ceramic - por</sup>

ceilings  flat plaster <sup>gyp board</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 32x80 <sup>w/ metal vent</sup>  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  ~~brass~~ <sup>NH metal</sup> doorknob  brass knob top  brass key type

windows # of windows 1 window type awning <sup>wood frame</sup> window coverings metal security screening

window casings  profiled casings  profiled sill  flat casings  flat sill <sup>4 1/2" x 2 1/2"</sup>

mill work \_\_\_\_\_

fixtures metal bathroom stalls - por

light fixtures NH incandescent dome / sconce over sink / exhaust fan

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH sink, urinal, toilet

electrical elements # of outlets 1 <sup>(in sink light fixture)</sup>  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

114C  
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**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 114D Room Name Passage (in kitchen)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic <sup>loyle</sup> <sub>war</sub>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  5" tile quarry

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board poor

trims  picture rail  chair rail  crown molding

ceilings  flat plaster <sup>gypbd</sup>  plaster rosette 30" x 30" ceiling hatch

doors  3-panel  4-panel  5-panel  hollow-core door not used  solid-core  
size 36" x 80"  light transoms w/diamond light

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures <sup>NH</sup> incandescent bulb

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 114E Room Name 'Vegetable Preparation'

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic <sup>tile</sup>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12" <sup>6" tile</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sup>fair</sup>

trims  picture rail  chair rail  crown molding  sheet metal covering  thin plastic covering

ceilings  flat plaster <sup>gyp board</sup>  plaster rosette  corner guards

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work Mtl shelf over sink

fixtures see comments

light fixtures fluorescent - poor cond

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements large commercial size <sup>double</sup> sink

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

**Comments**

- small room w/ large commercial double sink; large stainless steel storage area.
- small, tiled wash area in NE corner of room

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 114F Room Name Dishwashing Room

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: T & G hardwood T& G softwood vinyl carpet

ceramic <sup>tile</sup> concrete <sup>poor</sup> subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12"

walls flat plaster flat plaster with wallpaper tile wainscot gyp board <sup>poor</sup>

trim picture rail chair rail crown molding <sup>sheet metal</sup>

ceilings flat plaster <sup>poor</sup> plaster rosette

doors 3-panel 4-panel 5-panel hollow-core solid-core

size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type <sup>plaster covered w/ sheet metal - fair</sup>

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings profiled casings wall <sup>opening into room 117 - dish pass thro</sup> profiled sill flat casings flat sill

mill work wall <sup>opening covered w/ sheet metal</sup>

fixtures see comments

light fixtures flourescent light bulb

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements commercial dish washing system

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

- stainless steel <sup>commercial</sup> dishwashing system. Shelving, counters, sink + spray hose; dishwasher, dry racks + drying area
- exhaust duct work

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 115 Room Name Pantry

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl <sup>poor cond</sup>  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  3 1/2" fair cond

walls  flat plaster <sup>gypbd fair</sup>  flat plaster with wallpaper  tile  wainscot  gyp board

trim  picture rail  chair rail  crown molding  plastic <sup>gypbd - good</sup> <sup>poor wood sheeting poor cond.</sup>

ceilings  flat plaster <sup>gypbd - good</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work Nil built-in shelves. poor cond.

fixtures \_\_\_\_\_

light fixtures 2 bulb fluorescent lamp

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 115A Room Name Pantry A

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl <sup>poor</sup>  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  3 flat <sup>poor</sup>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sup>poor condition</sup>  
*one wall has laminate & acoustical tile*

trim  picture rail  chair rail  crown molding

ceilings  flat plaster <sup>gypbd - good</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 36" x 80"  light transoms <sup>w/ diamond ~~be~~ light half-covered in sheet metal kick plate</sup>

door casings  profile door casing  flat door casing <sup>fair</sup>  flat chamfered door casing

door hardware  brass doorknob <sup>NH lock</sup>  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work <sup>NH</sup> built-in shelves

fixtures movable shelves

light fixtures 1 large, 4-bulb fluorescent light ~ 2x4

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 2  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 115B Room Name Pantry B

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic <sup>excellent</sup> <sub>poor</sub>  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  5" ceramic tile <sub>poor condition</sub>

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board <sub>poor condition</sub>

trims  picture rail  chair rail  crown molding

ceilings  flat plaster <sub>gyp board - poor</sub>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core <sup>w/ vent</sup>  solid-core

size 32" x 80"  light transoms

door casings  profile door casing  flat door casing <sup>pair</sup>  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type <sub>HH hardware - poor</sub>

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures 1 bare incandescent bulb

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 116 Room Name Walk-in fridge Hall

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  gyp board

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 36" x 80"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  NH hardware  brass doorknob  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work NH shelves

fixtures 2 walk-in fridges, 1, 6-door fridge

light fixtures NH incandescent lamps

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 117 Room Name mechanical room

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  5" concrete

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

✓ trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  gyp board

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
size 36" x 84"  light transoms w/ vents

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type  
NH door hardware

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

✓ mill work \_\_\_\_\_

fixtures heating system

light fixtures bare incandescent bulbs

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements steam pipes

7 electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 118

Room Name Delivery

historic value:     very significant     significant     contributing     non-contributing

**components:**

floors/substrate:     T & G hardwood     T& G softwood     vinyl     carpet  
 ceramic     concrete    subflooring visible?  Yes     No

baseboards     flat 5"     profiled 10"     profiled 12"     flat 12"

walls     flat plaster     flat plaster with wallpaper     tile     wainscot     gyp board

trims     picture rail     chair rail     crown molding

ceilings     flat plaster     plaster rosette     exposed ceiling beams

doors     3-panel     4-panel     5-panel     hollow-core     solid-core  
size \_\_\_\_\_     light transoms

door casings     profile door casing     flat door casing     flat chamfered door casing

door hardware     brass doorknob     brass knob top     brass key type

windows    # of windows 6    window type wood-frame hopper window    window coverings metal security mesh

window casings     profiled casings     profiled sill     flat casings     flat sill    41" x 28"

mill work    NH shelving

fixtures    1 4-door fridge, 1 2-door wine fridge, 1 2-door fridge

light fixtures    1 ice machine, 5 large 4-tube fluorescent lamps; 1 incandescent bulb in safety cage

heating elements     ornate radiator     simple radiator     register grates     steam pipe

plumbing elements    \_\_\_\_\_

? electrical elements    # of outlets \_\_\_\_\_     water sprinkler system     exit lighting

fireplace    fireplace \_\_\_\_\_    mantle \_\_\_\_\_    hearth \_\_\_\_\_

fire box \_\_\_\_\_    accessories \_\_\_\_\_

*Handwritten note:*  
 1 4-door fridge  
 1 2-door wine fridge  
 1 2-door fridge

**Comments**

• this room was a make-shift enclosure to secure the garbage area; then the room took on a more permanent feel as they added the refrigerators

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Room Number 119 Room Name storage

historic value: very significant significant contributing non-contributing

components:

floors/substrate: T & G hardwood T& G softwood vinyl carpet  
ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12" 4" concrete

walls flat plaster flat plaster with wallpaper tile wainscot gyp board

trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette gyp board

doors 3-panel 4-panel 5-panel hollow-core solid-core  
size 35 1/2" x 84" light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type NH lock

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings profiled casings profiled sill flat casings flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures fluorescent light

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

## Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

### Comments

- because of improper lighting and furniture stacked up against the walls, it is difficult to discern all the room elements.
- plaster wall on East <sup>+ South</sup> walls have been partially removed exposing framing, no insulation visible
- wooden shelf at north + east walls
- date of construction of this room?

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 120 Room Name Chair Storage

historic value:  very significant  significant  contributing  non-contributing

components:

floors/substrate:  T & G hardwood  T & G softwood  vinyl <sup>poor</sup>  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  3 1/2" fair

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

✓ trims  picture rail  chair rail  crown molding

fair condition

ceilings  flat plaster <sup>gyp b'd - good</sup>  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core

size 36" x 80"  light transoms <sup>door is framed into previous 5' wide opening</sup>

door casings  profile door casing  flat door casing <sup>poor</sup>  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

Ntl door hardware - good

windows # of windows 3 window type 2 pane <sup>2 pane</sup> fixed wood <sup>frame</sup> window coverings mesh <sup>metal security,</sup>

<sup>jalousies don't open because of mesh</sup>

window casings  profiled casings  profiled sill  flat casings  flat sill

✓ mill work \_\_\_\_\_

fixtures commercial shelving units

light fixtures 4 large 4-tube fluorescent bulbs - fair, missing pieces

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets 4  water sprinkler system  exit lighting

✓ fireplace fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

1 room is currently filled with chaises + glass ware for  
the officers club

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 200 Room Name 2<sup>nd</sup> floor hallway

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood *needs refinishing*  T & G softwood  vinyl  carpet *- good*  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  8 1/2" *profiled good*

walls  flat plaster *fair - holes from former plaques*  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail *probably NH*  crown molding *historic good*

ceilings  flat plaster *good*  plaster rosette  4-light glass skylights to attic

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
*1) 30" x 83"*  
*2) 28 1/2" x 82"*  
*3) 31 1/2" x 83 1/2"*  
*3 4-panel closet doors swing into the hallway*  
*1 closet door good*  
*1 modified*  
 light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing *like 10B good*

door hardware  brass doorknob  brass knob top  brass key type

← windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

✓ mill work \_\_\_\_\_

✓ fixtures \_\_\_\_\_

light fixtures NH dome incandescent lights - good

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

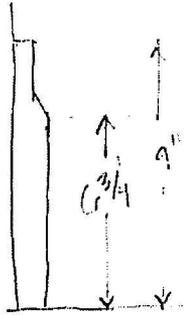
fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

- On east side of hallway, inbetween Room 201 + 203, at corner, there is evidence of disruption/modification to the plaster, research bldg modification here



Typ. baseboard - 2<sup>nd</sup> floor

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 201 Room Name Fremont Bedroom

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet good  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 12" good

walls  flat plaster good  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding good

ceilings  flat plaster good  plaster rosette

doors  3-panel  4-panel good  5-panel  hollow-core  solid-core  
size " 36 x 82 '  light transoms

door casings  profile door casing <sup>same as 108</sup>  flat door casing  flat chamfered door casing

door hardware  brass doorknob <sup>NH</sup>  brass knob top <sup>NH lock</sup>  brass key type

windows # of windows 2 window type fair 1/1 double-hung 43" x 80" window coverings NH valance

window casings  profiled casings  profiled sill  flat casings  flat sill + curtains + accordion shades

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH brass sconces + brass chandelier - good

heating elements  ornate radiator  simple radiator <sup>still in use</sup>  register grates  steam pipe covered w/ NH decorative box

plumbing elements \_\_\_\_\_

electrical elements # of outlets 3  water sprinkler system  exit lighting

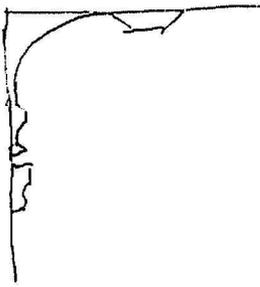
fireplace fireplace mantle hearth

fire box accessories

Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

Comments

- furnishings include 2 twin beds, a bedside table, a chair, a small fridge, a wardrobe, a mirror and a dresser
- The double hung windows still function, but glazing compound needs to be replaced.



Combined crown mould  
and picture rail

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 202 Room Name Sheridan Bedroom

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet *good*  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  9" profiled  
*Same as 200*

walls  flat plaster *fair cond*  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding/picture rail - good  
*Same as 201*

ceilings  flat plaster *good*  plaster rosette

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
*1) main door 36" x 82 1/2" 2) closet door 30" x 83" 3) hallway door hollow core 29 1/2" x 83 1/2"*  
*thick paint/chips*  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing  
*good cond* *NH number lock*

door hardware  brass doorknob  brass knob top  brass key type *and glass knobs*  
*fair*

windows  double hung  casement  picture window  other  none  
*Fair cond/operable* # of windows 2 window type 1/1 double hung window coverings NH valence + curtains

window casings  profiled casings  profiled sill  flat casings  flat sill  
*original trim*

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH brass randelabra

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
*w/ NH decorative wood box*

plumbing elements \_\_\_\_\_

electrical elements # of outlets 2  water sprinkler system  exit lighting

fireplace  firebox  accessories \_\_\_\_\_

Comments

- furnishing include queen bed, dresser, writing table + chair, reading chair and coffee table.

Doors + trim

main door and closet door 215 are original 4 panel doors, same style as 108. Closet door 213 is one-panel newer style. Door trim at main door, door 215, and bathroom door is original matching 108. Door trim at door 213 is flat  $\frac{1}{2}$ " x  $2\frac{1}{4}$ ".

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 203 Room Name Moraga Bedroom

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet good  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  9" profiled good, same as 200

walls  flat plaster fair  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding / picture rail fair - same as 201

ceilings  flat plaster fair  plaster rosette

doors 3 doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
1) 4-panel front door 36" x 82 1/2" size 31 3/4" x 82 1/2"  light transoms 3) 1-panel, 1-mirrored hollow-core 30 x 82 1/2" Fair cond

door casings  profile door casing  flat door casing  flat chamfered door casing good

door hardware  brass doorknob  brass knob top  brass key type fair  
historic crystal knobs NH number lock

windows # of windows 6 window type 1/1 double-hung window coverings \_\_\_\_\_  
fair 3 42 1/2" x 80" + 3 1/1 bay windows 2 41 1/2" x 80 and 1 42" x 80" (center window)  
window casings  profiled casings  profiled sill  flat casings  flat sill

mill work

fixtures

light fixtures NH brass sconce + NH brass candelabra

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
metal register screen

plumbing elements

electrical elements # of outlets 4  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

Comments

Furnishings include a 4-poster queen size bed, a reading chair and ottoman, a night stand, a couch, <sup>2</sup> coffee tables, a bureau and a wooden beverage fridge.

Doors & trim

Main door and bath door are 4-panel, like 108. Closet door is 1-panel. All three trims are like 108.

Windows & trim

All windows still operable. Top sash of one is missing counterweights. Trim is all style (of room 108).

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 204 Room Name Broderick (living room)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet good

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 9"   
 *same as 200*

walls  flat plaster *good*  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding / picture rail *good*

ceilings  flat plaster  plaster rosette *good*

doors  3-panel  4-panel *w/ chamfers*  5-panel  hollow-core  solid-core

size 35 3/4" x 82 1/2"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing *108 style fair*

door hardware  brass doorknob *historic? crystal knob*  brass knob top *NH number lock good*  brass key type

windows # of windows 1 window type 1 double hung window coverings NH curtains + valence

window casings  profiled casings *68" x 80" (X-wide) fair good*  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH brass candelabra

heating elements  ornate radiator  simple radiator  register grates  steam pipe *w/ decorative wooden box*

plumbing elements \_\_\_\_\_

electrical elements # of outlets 2  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

• furnishings include couch, <sup>2</sup> coffee tables, reading chair and small writing desk.

Baseboard - there is a seam in the baseboard 3'5" in on the old fireplace wall.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 205 Room Name Haskell Bedroom

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet good  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled same as 200 9"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board  
*B* fair - shows outline of old door + wall

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette  
*good* fair

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
1) 4-panel 29 1/2" x 83" size 3) 1-panel hallway door 30" x 82 1/2" fair cond  
2) 4-panel closet door 30" x 82 1/2"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing  
*fair cond*

door hardware  brass doorknob  brass knob top  brass key type  
*NH numbered lock* fair

windows # of windows 2 window type 1/1 double hung 43" x 80" window coverings NH curtains + valance  
*fair cond*

window casings  profiled casings  profiled sill  flat casings  flat sill  
*fair*

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures NH brass candelabra and NH brass scones

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
*w/ decorative wooden box*

plumbing elements \_\_\_\_\_

electrical elements # of outlets 3  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

Comments

- this room has a picture rail but no crown molding, unlike the Sheridan room which has crown molding but no picture rail. Correction the picture rail is so close to the crown, it appears as one.
- furnishings include 1 queen bed, 2 sitting chairs, 2 bedside tables, 1 dresser, 1 small beverage fridge.

Doors + Trim

Main door and door 214 are 4 panel. Bath and door 213 are one panel. All 4 trims are old style.

K16  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 206 Room Name Brodenck Bedroom

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet good

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled good same as 9" 200

walls  flat plaster good  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding/picture rail fair

ceilings  flat plaster good  plaster rosette

doors 3 doors - good  3-panel  4-panel  5-panel  hollow-core  solid-core  
1) 4-panel front door 36x82 1/2" size 2) 1 4-panel closet door size 31 3/4" x 83"  light transoms 3) 1 1-panel hollow core door 31 1/2 x 82"

door casings good  profile door casing  flat door casing  flat chamfered door casing  
NH brass + crystal doorknob (historic?)

door hardware fair  brass doorknob  brass knob top  brass key type

windows fair # of windows 2 window type 1/1 double hung window coverings NH curtains + valance

window casings  profiled casings good  profiled sill  flat casings  flat sill  
1) 42 1/2 x 80 2) 68" x 80 (X-wide)

✓ mill work \_\_\_\_\_

✓ fixtures \_\_\_\_\_

light fixtures NH brass sconces

heating elements  ornate radiator  simple radiator  register grates  steam pipe  
covered w/ decorative wooden box

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets 3  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

- furnishings include queen 4-poster bed, 2 night stands, bureau and beverage fridge; buffet side table

1216  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 207 Room Name Bathroom (Sheridan)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic  concrete  wood + threshold subflooring visible?  Yes  No  
*8x8 good*

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled, good 8"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding *4x4*

ceilings  flat plaster  plaster rosette  air vents in ceiling - wrong vents installed. Rusting? 

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
*1 29" x 83" 1-panel door good*  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type  
*NH brass handle - good*

windows *2 windows 39" x 78"* # of windows 2 window type 1/1 double hung window coverings blinds  
*fair opaque lower pane*

window casings  profiled casings  profiled sill  flat casings  flat sill  
*good*

**mill work**

fixtures *good* NH soap dish, tooth brush holder, shelves, mirror, toilet paper holder + towel bar

light fixtures *good* NH brass sconce + dome incandescent ceiling lamp

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH toilet, tub + sink; large water pipe *wt NH decorative wooden box*

electrical elements # of outlets 1  water sprinkler system  exit lighting

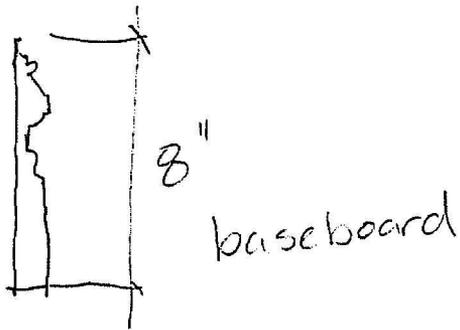
fireplace fire place \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

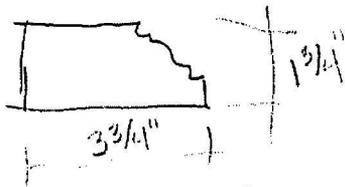
**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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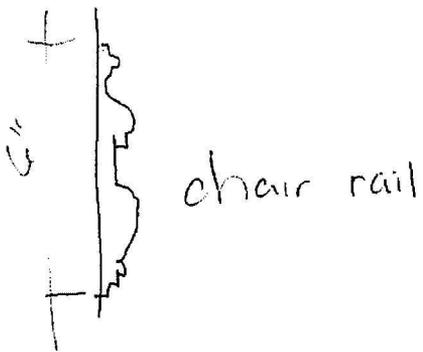
Comments



baseboard



trim



chair rail

KLB  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 208 Room Name Bathroom (Fremont)

historic value: very significant significant contributing non-contributing

components: same materials and same condition as bath 207

floors/substrate: T & G hardwood T & G softwood vinyl carpet  
ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12" profiled 8"

walls flat plaster flat plaster with wallpaper tile wainscot gyp board

trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette NH air vent in ceiling  
*signs of water leaks in ceiling*

doors 1-panel 3-panel 4-panel 5-panel hollow-core solid-core

size 29 1/2" x 82 1/2" light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware NH brass doorknob brass knob top brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings profiled casings profiled sill flat casings flat sill

✓ mill work \_\_\_\_\_

fixtures NH soapdish, toothbrush holder, towel bars + shelf, NH toilet paper holder, NH suspended curtain rod

light fixtures NH brass sconces + dome incandescent light

✓ heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements NH tub, toilet and sink

electrical elements # of outlets 1 water sprinkler system exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

## Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

### Comments

- The bathrooms on the 2<sup>nd</sup> floor were renovated in 1986. Bathrooms were remodelled as "Victorian Design Bathrooms" with brass faucets + fixtures, etc.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 209 Room Name Bathroom (Moraga)

historic value:  very significant  significant  contributing  non-contributing

components: same materials and condition as 207

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 8"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board  
*wallpaper peeling away from baseboard*

trims  picture rail  chair rail  crown molding  
*NH NH*

ceilings  flat plaster  plaster rosette  NH air vent [ ] [ ] [ ]  
*Signs of water leak around vent*

doors (into room 207)  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing  
*NH brass handle*

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows 1 window type 1<sup>o</sup> x 2<sup>o</sup> casement window coverings \_\_\_\_\_  
*good*

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work \_\_\_\_\_  
*curtain rod*

fixtures NH shelving, toothbrush holder, soap dish, towel ring + rack,

light fixtures NH brass scones, NH incandescent dome

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH tub, toilet + sink - tub faucet drips constantly  
*tub stained*

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

## Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey

### Comments

The bathrooms on the 2<sup>nd</sup> floor were renovated in 1986.  
Bathrooms were remodeled as "Victorian Design Bathrooms"  
with brass faucets + fixtures, etc

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 210 Room Name bathroom (Haskell)

historic value:  very significant  significant  contributing  non-contributing

components: Same materials and condition as 207

floors/substrate:  T & G hardwood  T& G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 9"

walls  flat plaster  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding (possible NH - a Home Depot add-on?)

ceilings  flat plaster  plaster rosette  fair vents in ceiling w/ water stains

doors  3-panel  4-panel  5-panel  hollow-core  solid-core  
| 1-panel  
size 30" x 82 1/2"  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing  
NH brass handle

door hardware  brass doorknob  brass knob top  brass key type

windows fair # of windows 1 window type 1/1 double-hung window coverings blinds string broken  
39 x 77 1/2" opaque glazing

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wooden shelving units

fixtures NH soap dish, toothbrush holder, towel bars, shelving units, toilet paper holder, curtain rod

light fixtures NH brass sconces + NH incandescent dome

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH toilet, sink + tub

electrical elements # of outlets 1  water sprinkler system  exit lighting

replace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

- The bathrooms on the 2<sup>nd</sup> floor were renovated in 1986. Bathrooms were remodelled as "Victorian Design Bathrooms" with brass faucets + fixtures, etc

K1b  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 211 Room Name Bathroom (Brodenck)

historic value:  very significant  significant  contributing  non-contributing

components: same materials and condition as 207

floors/substrate:  T & G hardwood  T&G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled 8"

walls  flat plaster  flat plaster with wallpaper *wallpaper edges peeling*  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster  plaster rosette

doors *(swings into 206)*  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

windows # of windows 1 window type 1 double-hung window coverings \_\_\_\_\_  
*opaque lower pane*

window casings  profiled casings  profiled sill  flat casings  flat sill  
*(casings are possibly NH - too clean a profile)*

mill work \_\_\_\_\_

fixtures NH toilet paper holder, towel ring + rack, toothbrush + soap dish, curtain rod

light fixtures NH brass sconces + incandescent brass dome

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements NH toilet, tub + sink w/ wooden curved decorative box

electrical elements # of outlets 1  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

The bathrooms on the 2nd floor were renovated in 1986. Bathrooms were remodeled as "Victorian Design Bathrooms", with brass faucets + fixtures, etc.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 213 Room Name closet (hallway between Sheridan + Haskell)

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: <sup>2" wide</sup> T & G hardwood T & G softwood vinyl carpet  
<sub>good</sub>  
ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12" profiled <sub>same as 200 9"</sub>

walls flat plaster flat plaster with wallpaper tile wainscot gyp board  
<sub>good</sub>

✓ trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette  
<sub>good</sub>

✓ doors 3-panel 4-panel 5-panel hollow-core solid-core

size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing  
<sub>1x2 and 1x4</sub>

door hardware brass doorknob brass knob top brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings profiled casings profiled sill flat casings flat sill

mill work wooden shelves NH

✓ fixtures \_\_\_\_\_

✓ light fixtures \_\_\_\_\_

✓ heating elements ornate radiator simple radiator register grates steam pipe

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets 1 water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

- closet converted into hallway between bedrooms, contains shelving, a small table and a beverage fridge.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 214 Room Name closet (Haskell)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood <sup>good</sup>  T & G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  flat 4

walls  flat plaster <sup>good</sup>  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster <sup>dropped 7' high.</sup>  plaster rosette

doors <sup>(into 205)</sup>  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob <sup>historic?</sup>  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wooden shelf

fixtures metal hanging rod

light fixtures \_\_\_\_\_

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets X  water sprinkler system  exit lighting

fireplace  fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 215 Room Name closet (Sheridan Room)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood  T & G softwood  vinyl  carpet

ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12" *9 1/2 profile*

walls  flat plaster *good*  flat plaster with wallpaper  tile  wainscot  gyp board

trims  picture rail  chair rail  crown molding

ceilings  flat plaster *full hgt ceiling good*  plaster rosette

doors *(swings into room 202)*  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing  flat chamfered door casing

door hardware  brass doorknob *historic?*  brass knob top  brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work shelving

fixtures 1 hanging rod

light fixtures 1 bare bulb

heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 216 Room Name Closet (hallway)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood *good*  T & G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  9 1/2" profiled  flat 12"

walls  flat plaster *good*  flat plaster with wallpaper  tile  wainscot  gyp board

✓ trims  picture rail  chair rail  crown molding

ceilings  flat plaster *good*  plaster rosette

doors (swings into hallway)  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing *NH brass knobs*  flat chamfered door casing

door hardware  brass doorknob  brass knob top  brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wooden shelves

✓ fixtures \_\_\_\_\_

light fixtures *bare* incandescent bulb

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 21B Room Name closet (Moraga)

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: T & G hardwood <sup>Good</sup> T & G softwood vinyl carpet  
ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12"

walls flat plaster flat plaster with wallpaper tile wainscot gyp board  
*Same trim as everywhere seam in north wall*

✓ trims picture rail chair rail crown molding

ceilings flat plaster plaster rosette

✓ doors <sub>(into room 203)</sub> 3-panel 4-panel 5-panel hollow-core solid-core  
size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings profiled casings profiled sill flat casings flat sill

mill work wooden shelves

fixtures metal hanging rod; metal drying rack (install into wall)

light fixtures bare incandescent bulb

✓ heating elements ornate radiator simple radiator register grates steam pipe

✓ plumbing elements \_\_\_\_\_

✓ electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

K16  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 219 Room Name Closet (linen closet)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood *fair*  T & G softwood  vinyl  carpet  
 ceramic  concrete subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  9 1/2" *same profiled*

walls  flat plaster *fair*  flat plaster with wallpaper  tile  wainscot  gyp board

✓ trims  picture rail  chair rail  crown molding

ceilings  flat plaster *fair*  plaster rosette

doors *(swings into hallway)*  3-panel  4-panel  5-panel  hollow-core  solid-core  
size \_\_\_\_\_  light transoms

door casings  profile door casing  flat door casing *1x4*  flat chamfered door casing

door hardware  brass doorknob *NH brass*  brass knob top  brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✓ window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wooden shelves

✓ fixtures \_\_\_\_\_

light fixtures bare incandescent bulb

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

✓ plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting *circuit box inside closet*

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

K16  
JL

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 220 Room Name closet (Broderick)

historic value:  very significant  significant  contributing  non-contributing

**components:**

floors/substrate:  T & G hardwood <sup>good</sup>  T & G softwood  vinyl  carpet  
 ceramic  concrete <sup>shows corner pattern</sup> subflooring visible?  Yes  No

baseboards  flat 5"  profiled 10"  profiled 12"  flat 12"  profiled <sup>good 9 1/2"</sup>

walls  flat plaster <sup>good</sup>  flat plaster with wallpaper  tile  wainscot  gyp board

✓ trims  picture rail  chair rail  crown molding

ceilings  flat plaster <sup>good</sup>  plaster rosette

doors <sup>not full hgt of bedroom</sup>  3-panel  4-panel  5-panel  hollow-core  solid-core

(swing into 206) size \_\_\_\_\_  light transoms  
door casings  profile door casing  flat door casing  flat chamfered door casing <sup>(note: interior closet door casing is an anomaly old style)</sup>

door hardware  brass doorknob <sup>PHH</sup>  brass knob top  brass key type

✓ windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

✗ window casings  profiled casings  profiled sill  flat casings  flat sill

mill work wooden shelving

fixtures metal hanging rod

✓ light fixtures \_\_\_\_\_

✓ heating elements  ornate radiator  simple radiator  register grates  steam pipe

plumbing elements \_\_\_\_\_

✗ electrical elements # of outlets \_\_\_\_\_  water sprinkler system  exit lighting

✓ fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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**Comments**

• date of closet construction? The closet is a "bump-out", into the room; chamfered door casings are unusual

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 221 Room Name Closet (hallway)

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: T & G hardwood *good* T & G softwood vinyl carpet

ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12" 9 1/2" *same - fair*

walls flat plaster flat plaster with wallpaper *very old* tile wainscot gyp board  
*water stains*

trim picture rail chair rail crown molding

ceilings flat plaster *w/ wallpaper* plaster rosette

doors 3-panel 4-panel 5-panel hollow-core solid-core

*(springs into hall)*  
size \_\_\_\_\_ light transoms

door casings profile door casing flat door casing flat chamfered door casing

door hardware historic crystal knob brass doorknob brass knob top brass key type

windows # of windows \_\_\_\_\_ window type \_\_\_\_\_ window coverings \_\_\_\_\_

window casings profiled casings profiled sill flat casings flat sill

mill work wooden shelving

fixtures \_\_\_\_\_

light fixtures \_\_\_\_\_

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

**Comments**

.closet is currently too poorly lit and too overly stuffed with mattresses + supplies to survey properly.

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

Room Number 222 Room Name Fire exit hallway

historic value: very significant significant contributing non-contributing

**components:**

floors/substrate: T & G hardwood T & G softwood vinyl carpet  
*evidence of old staircase* *and plywood*  
ceramic concrete subflooring visible? Yes No

baseboards flat 5" profiled 10" profiled 12" flat 12" 9 1/2" profiled

walls flat plaster flat plaster with wallpaper tile wainscot gyp board

trims picture rail chair rail crown molding *bread board over door*

ceilings flat plaster plaster rosette trap door to attic  
*poor*

doors 3-panel 4-panel 5-panel hollow-core solid-core  
size 36" x 83" light transoms *(fire exit door at end of hallway swings to outside)*

door casings profile door casing flat door casing flat chamfered door casing

door hardware brass doorknob brass knob top brass key type  
*historic? crystal doorknob*

windows *fair* # of windows 1 window type 1/1 double-hung window coverings \_\_\_\_\_  
*43" x 80"*

window casings profiled casings profiled sill flat casings flat sill  
*original style*

mill work \_\_\_\_\_

fixtures \_\_\_\_\_

light fixtures bare incandescent bulb

heating elements ornate radiator simple radiator register grates steam pipe

plumbing elements \_\_\_\_\_

electrical elements # of outlets \_\_\_\_\_ water sprinkler system exit lighting telephone box

fireplace fireplace \_\_\_\_\_ mantle \_\_\_\_\_ hearth \_\_\_\_\_

fire box \_\_\_\_\_ accessories \_\_\_\_\_

**Fort Mason Officers' Club: Historic Evaluation & Detail of Building Components Survey**

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Comments

- construction date of this hallway? It appears very haphazard in its construction - result of the major roof modifications?

## Physical Description (Exterior)

Quarters One at Fort Mason is a two-story wood frame building with a 112'-6" wide x 176'-8" long footprint. The Main facade looks southwest over the once barren hills to the Pacific. The exterior of the building that exists today shows evidence of many evolutionary periods, where changes in materials and finishes, window sizes and various other exterior attributes are clearly recognizable. When viewed from the north or east, additions onto the exterior of the building partially obscure the visual perception of the original commandant's dwelling at the center of the building composition. However, when approached from the west and south, as was the original driveway entry and building front, the main facade is strikingly simple and remarkably similar to early historic views of the building.

### Roof

There are three styles of roof within the building: 1) asphalt shingled hip roof with eaves brackets and box gutters, 2) asphalt shingled hip roof with hanging gutters, and 3) flat built-up roof with gravel wear course. Brick chimneys and various vents protrude from roof planes and are visible at each facade. There is a wood frame box covering an old skylight at the flat roof adjacent to the bathroom 208 and above the hallway room 200 that is in fair condition.

### Asphalt Shingled Hip Roof With Eaves Brackets And Box Gutters

The roof of the core dwelling, including the porte-cochere at the main entry, is almost entirely a low-pitched simple hip roof with red three-tab asphalt shingles installed over 3/8" plywood over a 1x6 open boarding roof deck. The structure of this simple hipped roof is composed of 2x6 rafters at 16" centers supported at the perimeter by the original exterior walls of the dwelling, now interior to the building. Heavy framed carved wood eaves brackets at 16" centers and architectural box gutters easily distinguish this architecturally significant roof. The eaves consist of 1x6 tongue and groove board drop siding. This roof is in fair condition due to its age. The plywood roof deck shows some signs of weakness. The three-tab asphalt roofing shingles appear to warp and/or lift in areas. On the south portion of the building, biological growth that appears to be moss, grows on the roofing materials and should be removed. The southeast corner of roof above room 203 is in poor condition and needs maintenance attention. The architectural gutter in that location shows evidence of a shoddy repair in the past. There is also a small portion of flat roof above the hallway on the second floor level. The structure of this roof is composed of 2x6 rafters at 16" centers. This flat roof is in fair condition.

In areas where the original hipped roof of the dwelling had been altered to adjoin new additions, unique drainage issues and roof forms exist. At the southeast corner of bedroom 203, it appears that a series of overlapping wood frame crickets have been employed to divert rainwater, and around the east and north sides of this room, it would appear that the original form of the shed roof over the former rear porch was retained in order to divert rainwater runoff away from the core dwelling at the second floor level. In both of these areas, 4" diameter corrugated drainpipe has been joined to drain leaders at the first floor roofline in order to divert rainwater runoff to the drain leaders at the

flat roof below. Many first floor drain leaders appear to be clogged. Due to the high amount of fallen tree foliage that collects on the roofs, regular maintenance of the gutters and leaders is essential for proper performance of the roof drainage system. Areas of the roof where biological growth occurs should be gently brushed/scraped and treated with an approved herbicide or fungicide to prohibit biological growth.

#### Asphalt Shingled Hip Roof With Hanging Gutters

This type of roof exists over banquet room 101 and is fair condition. Here at the south portion of the building, bowing of the roof deck has occurred, likely due to the inadequacy of the roof framing to support the added load of the additional plywood deck and the new shingles. In this area as mentioned above, biological growth that appears to be moss, grows on the roofing materials. The eaves of this roof appear to be composed of 1x12 fascia boards cut as required to create a simple closed cornice at the roof edge.

#### Flat Built-Up Roof With Gravel Wear Course

This type of roof comprises the majority of roofs over newer additions and slightly more than half of the overall roof area of the building. This roof appears to be in fair condition with areas of wear and bubbling of the roofing material. Due to the high amount of fallen tree foliage that collects on the roofs, regular maintenance of the gutters and downspouts is essential for proper performance of the roof drainage system.

### Walls

#### North Walls

The composition of the north facade is dominated by the one-story kitchen storage wing at the west and the one-story dining room and conservatory at the east, both with flat roofs, and the second story of the original dwelling, with its hipped roofs, rising up in the center. The conservatory walls are described under the heading 'east walls.' The north wall of dining room 113 is composed of 5" wide drop siding oriented vertically to a height of 8'-6" that is in good condition. There are 4" square galvanized downspouts in good condition. The eaves are composed of plywood and create a 2'-0" horizontal cantilevered overhang that divides the wall horizontally between a cementitious stucco finish 'false parapet' at the top and the window wall below. The eaves are in good condition with some areas needing repair. There is a window wall composed of four 4'-4"x6'-0" single light fixed wood sash windows having 2 \_" wide wood mullions below awning window transoms 2'-2" tall at the top. These windows, which are composed of 1/8" glazing that is not insulated, are in good to fair condition. There is a wood entry door adjacent to the storage room 119 that is in fair condition. This exterior vestibule is finished with 5" wide drop siding oriented vertically that is in good condition. At storage room 120 the vertical siding is 5'-10" in height and the concrete foundation is visible to a height of 2'-0". In this northwest corner of the building, the roof is close to 8'-0" above finish grade. An architectural gutter at the roofline that is 6" x 10" with galvanized flashing is in good condition and needs painting and waterproofing. Opposite chair storage room 120 is a wood stair that leads to the roof creating a fire exit-way

from the second floor of the core dwelling. This stair and exit-way is in fair to poor condition with many areas needing replacement. The stair and exit-way does not conform to current building construction and safety standards. Adjoining the storage and delivery room 118 is a low wood frame trash enclosure built atop a concrete slab at grade, meeting the north wall of the kitchen storage wing at a drainage swale that is not bridged by the enclosure. The wood frame walled enclosure is constructed of 2x4 framing on varying centers, with painted plywood T-111 siding, in good condition. The swinging doors to the enclosure are in poor condition, and the drainage swale between the enclosure and the kitchen storage wing is swollen with trash and biological debris. The condition of this drainage swale has caused damage to the exterior cladding of the building at room 118, where vegetation is dense and moisture is a prevalent environmental condition.

The north rolling entry doors to the delivery space (room 118) are constructed of plywood on a wood frame and are in poor condition. Exterior cladding is painted 1"x6" tongue and groove drop siding oriented vertically in good condition. The condition of this siding deteriorates as it turns the corner of the building toward the west. Following the north wall to the east, exterior cladding is painted 1"x6" tongue and groove drop siding oriented vertically in good condition. At the top of the wall, at the roofline above the eave, the short parapet-like stucco wall of the dining room addition is visible, as are the various kitchen and storage room ventilation equipment vents. The walls of the core dwelling at bedroom 203 and 206 and the top of the original tripartite division of the original 1877 dwelling is visible. The 24" tall 1"x4" wood bevel siding oriented horizontally continues the height of the second floor to meet the eaves brackets at the roof, where a similar banding of vertical siding finishes off the top of the wall behind the eaves brackets. From west to east, there is a flush wood emergency exit door 2'-6" x 5'-9" (the exit-way mentioned above) and two 2-light 2'-6" x 5'-9" double hung wood sash windows with heavy 6" painted wood trim in good condition in bedroom 206 and one in bedroom 203 that are visible. Also visible is one of the 2-light 2'-8" x 7'-2" double hung wood sash windows with heavy 6" painted wood trim that compose the bay window in bedroom 203.

#### West Walls

The majority of the lower stories of the walls that compose the west facade of the building are obscured by vegetation. This is readily apparent at the north kitchen and delivery wing. At room 118, the 1"x4" horizontal bevel siding is in fair to poor condition, with some areas rotten and the corner boards pulling away from the wall. An architectural gutter at the roofline that is 6" x 10" with galvanized flashing is in good condition and needs painting and waterproofing. At room 118, the foundation is not visible from the outside. At the men's and women's restroom 114B and 114C, siding material changes to clear wood 1"x4" bevel siding in good condition. Areas have delaminating paint. The wall has a recently installed exhaust fan cover in good condition. There are a total of four single light 24"x36" awning windows; two in good condition that appear to have been recently repaired, and two that require sash repair or replacement and are in poor condition. 4" square galvanized leaders are in good condition. The plywood eaves with brackets are visible overhead and appear to be in fair condition. At the corner near the kitchen office and room 110, electrical conduit breaches the exterior wall via an open hole. This hole needs to be closed and

the wall repaired. Two large 30"x80" 2-light double hung wood sash windows with heavy wood trim are in fair condition.

Beginning in this area and at the office room 110, the original tripartite division of the Main facade of the original 1877 dwelling is visible. The division is created at a height of 12'-6" by a horizontal band of heavy wood trim approximately 6" wide, under a 2'-6" tall band of 1"x4" wood drop siding oriented vertically, under another horizontal band of heavy wood trim approximately 6" wide. Above that uppermost trim, the 1"x4" horizontally oriented wood bevel siding continues the height of the second floor to the eaves brackets at the roof, where a similar banding of vertical siding finishes off the top of the wall behind the eaves brackets. This architecturally significant siding on the west facade of the core dwelling is in good condition.

On the first floor at office room 110, there are two 2-light 2'-8" x 7'-2" double hung windows with heavy 6" painted wood trim in good condition. Both windows have exterior mounted wire mesh protective panels in good condition. At the reception hall in rooms 106B and the coatroom 106A, there are pairs of large 2-light 3'-0"x10'-8" wood sash double hung windows with heavy 8" wide painted wood mullion and wood trim on either side of the main entry door. The wood wash and wood sash is in fair condition. The double hung windows at the coatroom 106A have obscured glass. There is one 2'-8" x 7'-0" double hung wood sash window at coatroom 106A with wood sash in poor condition. In the area of the fire sprinkler standpipe, the concrete foundation has a noticeable crack. Seven 2-light 2'-8" x 7'-2" double hung windows with heavy 6" painted wood trim in good condition, fairly evenly spaced at intervals that range from 8'-0" to 10'-0" on center, compose the fenestration of the second floor hallway room 222, bathrooms 210 and 207, and bedrooms 205 and 202 of the original core dwelling.

Continuing toward the south, at the library room 102, the foundation is visible. A curious concrete covered brick 'foundation wall' that is in good condition has screened basement vents at the ground surface. There is a pair of adjacent 2-light 3'-0" x 7'-0" double hung windows with heavy 6" painted wood trim in good condition. At the southwest corner of the building, at banquet room 101, a newer double wood entry door with is in good condition. Here the 1940s era addition becomes evidenced by a change in wood siding from 4" wide with " lap to 4" with " lap, both over " diagonal board sheathing. Similarly, the construction of the eaves of the banquet room change from those of the library, from a horizontal drop siding or tongue and groove sheathing to wide pine fascia boards. At the top of a terra cotta tiled concrete entry ramp there is a double wood door that is 5'-4"x 6'-6" with transom that is 2'-0" tall. It appears as though a standard 6'-8" double door was modified in the field to accept a transom. This entry door appears to be the accessible building entry, but does not conform to current accessibility standards and presents many barriers to accessibility.

#### South walls

The majority of the south walls on the lower level are visible. At the delivery room 118 cooler, the 1"x4" horizontal bevel siding is in fair to poor condition, with some areas rotten. At the kitchen room 114 and dry storage room 114A, the clear wood 1"x4" bevel siding is in good condition. Areas have delaminating paint. There are three awning windows; two appear to be original and one appears to be a new replacement. One of the original windows is in poor

condition. There is one wall-mounted electrical panel and main disconnect in good condition. The plywood eaves with decorative brackets are visible overhead and appear to be in fair condition. At the library room 102 the foundation is visible. There are two 2-light 2'-6" x 7'-0" double hung windows with heavy 6" painted wood trim in good condition. These windows are separated by a one story brick chimney composed of a used brick stretchers laid in a 'tumbled' running bond with 6<sup>th</sup> course header row, giving the appearance of an irregular pattern. The brick chimney is in good condition with some minor areas needing re-pointing. The joint filler at the siding is deteriorated and needs replacement.

The walls of the core dwelling at bedroom 201 and 203, the grand stair and bathroom 207, and the original tripartite division of the original 1877 dwelling are visible. There are 2-light 2'-8" x 7'-2" double hung wood sash windows with heavy 6" painted wood trim in good condition; one in bedrooms 201 and 203, one at the grand stair, and one at bathroom 207 that are visible. The window at bedroom 201 is partially obscured from view by the roof of the banquet room. Also visible is one of the 2-light 2'-8" x 7'-2" double hung wood sash windows with heavy 6" painted wood trim that compose the bay window in bedroom 203.

At banquet room 101, the foundation is visible. There is a foundation vent that is in good condition. The adjacent hillside is here retained by a 20" thick 6'-4" tall concrete wall with form board patterns in good condition, allowing for a walkway between the hillside and the building. The exterior wall has 4" wide bevel siding in good condition. The paint is delaminating in some areas. There is a wall vent in good condition. The eaves of the banquet room are wide pine fascia boards in fair condition. There are two pairs of windows composed of two 3'-0"x4'-6" fixed wood sash windows with 2'-0"x 3'-0" hospital light transoms, separated by a 6" wide wood mullion. The windows to the west are in good condition and need glazing. The windows on the east side need glazing and are in fair to poor condition with wood sash and wood wash rotted in areas.

#### East Walls

At the east facade, the exterior building envelope is composed predominantly of glazing in order to take advantage of sweeping views of Alcatraz, Aquatic Park and Fisherman's Wharf from the northeast to the southwest. At banquet room 101, the 2'-2" tall concrete foundation with form board patterns is visible. There is a foundation vent covered in plywood in need of replacement. The exterior wall has 4" wide bevel siding in good condition. The paint is delaminating in some areas. The eaves of the banquet room are wide pine fascia boards in fair condition. There are three sets of window units composed of four 3'-0"x4'-6" fixed wood sash windows with 2'-0"x 3'-0" hospital light transoms, separated by a 6" wide wood mullion that are in good condition and need glazing. These windows are in good condition. At the northern end of the banquet room, adjacent to the conservatory room 107, the window unit set is different and has been made to incorporate a door at the north in place of the last window. The 2'-8" x 6'-8" wood door with transom and panic hardware is in fair condition. The 5'-7" x 11'-4" wood deck porch with stairs near this door is rotted and in poor condition needing replacement.

The foundation of the conservatory is visible as the conservatory is above ground level. This area of the building is founded on 11" square concrete columns of varying height with vertically oriented wood picket infill panels in good

to fair condition. It is likely this structural column configuration does not meet current structural standards. There is evidence of wood lattice under the lowest fascia boards in this area of the building. The walls of the conservatory room 107 are mostly glazing and are composed of 4'-6" x 7'-6" single light wood sash windows in fair condition. A hanging gutter with 6" diameter galvanized downspouts is in poor condition. The 1/8" glazing appears to be tempered glass that is not insulated. At each end of the semi-circular conservatory space, the windows are operable, as they are composed of two 2'-0" x 1'-0" aluminum sash jalousie windows separated by a 3" wide aluminum mullion at the top and bottom of the window, leaving a fixed light 3'-3" x 4'-5" in the center. The jalousie windows are in fair to poor condition. Generally speaking of the wood windows, the wood sash and wash is in fair to poor condition. There is 1/2" thickness plywood siding in poor condition under the window wash and above the window. An odd arrangement of plastic vents and galvanized downspouts confuse the order of the facade.

The walls of the core dwelling at bedrooms 203, 204 and 206, and the original tripartite division of the original 1877 dwelling is visible. At rooms 204 and 206, there are 4'-6" x 5'-10" wood sash windows in good condition. There is a 2-light 2'-6" x 5'-9" double hung wood sash window with heavy 6" painted wood trim in good condition in bedroom 203. At rooms 204 and 206, there are 4'-6" x 5'-10" wood sash windows in good condition. A small 1'-0" x 2'-2" casement window at bathroom 209 is visible. Also visible are the three 2-light 2'-6" x 5'-9" double hung wood sash windows with heavy 6" painted wood trim and 4" wide wood mullions that compose the bay window in bedroom 203. Examination of the roof in this area, comparing its roofline to the roofline and division of elements on the west facade, reveals that the roof has been altered several times in this location, and is now much higher than its original configuration.

The concrete foundation is visible at the dining room 113 as it is about 2'-0" above finish grade. The wall is composed of 5" wide drop siding oriented vertically, and window wall, that is in good condition. There are five foundation vents and one 22" x 14" duct cover in good condition. There are 4" square galvanized downspouts in good condition. The eaves are composed of plywood and create a 2'-0" horizontal cantilevered overhang. The eaves are in fair to poor condition with some areas needing repair or replacement. There is a window wall composed of nine 4'-4" x 6'-0" single light fixed wood sash windows with awning window transoms 2'-2" tall at the top. The windows are separated by 2-1/2" wide mullions and the transom windows have 3" wide wood frames. The window wall, which is composed of windows having 1/8" glazing that is not insulated, is in good to fair condition overall.

### Chimneys

There are brick chimneys on the building, one has already been mentioned as part of the narrative description of the south wall, and is located at the library room 102. Close inspection of the other two chimneys is only possible from the uppermost roof. One chimney is 3'-7" x 1'-5" and varies in height due to roof pitch from 8'-0" at the low end to 6'-6" at the high end. The second chimney is situated on the east-west roof ridge and is 7'-0" tall and 4'-2" wide and is in fair to poor condition overall. The chimney base cement parging and base flashing are in fair to poor condition with some areas needing repair. The brick and concrete 'cap' has a large crack following the lines of mortar joints in the brick corbelling at the top of the chimney. Both chimneys are not tied to the roof structure and are in need of re-

pointing with some areas needing brick replacement. The chimneys appear to have been modified and rebuilt over the years from their original configuration and do not appear to be original.

### Foundations

At the kitchen room 114 and dry storage room 114A, the concrete foundation is visible and appears to be in good condition. There is a drainage swale at the foundation that is 11\_ inches wide with a 4" wide curb on the outside. This swale leads water from the leaders away from the foundation to drainage grates near the main entrance. The foundation is visible throughout the building and is generally concrete on the outside in good condition, with some cracking in areas. It appears as though a concrete curbing has been installed at the exterior of the brick foundations of the core dwelling, likely for water and rat proofing the basement and crawl space.

### Porte Cochere

The porte cochere is 8'-6" wide x 14'-4" long spanning the roadway at main entry to the building to create a shelter 10'-4" high. The west end of the porte cochere appears to have been founded on piers at one time, though today a concrete foundation wall 8" wide and 15" above finish grade exists in good condition. The connection at the foundation is a steel strap and the columns appear to splay out to the west, creating a weakened structural condition needing repair. A concrete stair at the entry door reduces the clearance at the roadway to a width of 11'-2". The stair has risers of differing heights and there is no landing at the door, creating a hazardous entry condition. The 8" square wood columns and beams of the support structure of the porte cochere appear to be in good condition. There are 5-1/2" x 4-1/2" wood eaves brackets that create a 3'-0" diagonal brace at each corner of the rectangular shelter and at 2'-0" centers in the eaves of the roof. In the eaves, 6" tongue and groove boards are visible, and in the shelter of the roof, the tongue and groove finish seems to infill larger structural members to create a weather tight ceiling finish. Rafters are visible on the interior of the hip roof, which has box gutters and appears to be in fair condition. There is a large six-sided pendant light fixture secured from swinging by long chain swag stays that is not original and is in good condition. At the main entry door, the porte cochere is enclosed to form a vestibule. Here the 3'-2" wide infill panels between the main dwelling and the exterior are composed of 4" wide tongue and groove boards oriented vertically with a 1x5 wood frame. The original structural members of the porte cochere (and the corner boards of the core dwelling) have chamfered edges, a design detail that matches the building's interior and exterior trim. The main entry door is an aluminum frame infill system composed of two 2'-4" wide double doors and 2'-11" transom filling an opening that is roughly 5'-0" wide and 11'-2" tall. This door is in fair condition.

**Appendix D**  
*AME Report*



FACILITY INSPECTION DETAILS NPS - BAH

FY06 Roofing

FY05 paint ext.

DATE 05/27/2004

ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA

MGR:

INSPECTION TYPE: STRUCTURAL

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/02/2004 PHONE: ( ) -

INSPECTORS: GREEN, VERA CRUZ

USAGE: RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION
OFFICERS CLUB	2007	3	02	HR	DM	11,080 SF	Contract	PA	288	\$13,032	\$2,393		\$22,675	ST 0001	PREPARE/PAINT EXTERIOR WOOD SIDING, MULTIPLE STORY, (AGED/PEELING), THROUGHOUT THE EXTERIOR WALLS MAIN BUILDING - 10,819 SF AND FRONT COVERED DRIVEWAY - 261 SF.
				Status	Not Completed			LB	389	\$15,930	\$3,667		\$28,808		
							Deficiency Subtotal		677	\$28,962	\$6,060	1.47	\$51,482		
OFFICERS CLUB	2007	3	02	HR	DM	1,246 SF	Contract	PA	21	\$950	\$101		\$1,545	ST 0002	PREPARE/PAINT EXTERIOR SOFFIT BOARD, MULTIPLE STORY, (AGED), THROUGHOUT THE BUILDING.
				Status	Not Completed			LB	45	\$1,843	\$412		\$3,315		
							Deficiency Subtotal		66	\$2,793	\$513	1.47	\$4,860		
OFFICERS CLUB	2007	3	02	HR	DM	880 SF	Contract	PA	30	\$1,358	\$143		\$2,206	ST 0003	PREPARE/PAINT EXTERIOR FASCIA BOARD, (AGED), THROUGHOUT THE PERIMETER OF BUILDING.
				Status	Not Completed			LB	31	\$1,269	\$291		\$2,293		
							Deficiency Subtotal		61	\$2,627	\$434	1.47	\$4,500		
OFFICERS CLUB	2007	3	02	HR	DM	87 SF	Contract	CA	3	\$157	\$223		\$559	ST 0004.0	REPLACE PAINTED BEVEL OR CLAPBOARD SIDING, SINGLE STORY, (WATER DAMAGED), IN LOWER PART OF WALL AT SOUTHWEST CORNER OF THE BUILDING.
				Status	Not Completed			LB	2	\$82	\$0		\$121		
								PA	3	\$136	\$25		\$237		
							Deficiency Subtotal		8	\$375	\$248	1.47	\$916		
OFFICERS CLUB	2007	3	02	HR	DM	66 LF	Contract	CA	3	\$157	\$80		\$348	ST 0004.1	REPLACE PAINTED EXTERIOR WALL WOOD TRIM, SINGLE STORY, (DAMAGED/INADEQUATE WIDTH), IN THE SOUTHWEST AND SOUTHEAST CORNER OF STORAGE MECHANICAL AREA - 44 LF, AND SOUTH OF OLD LIBRARY - 22 LF.
				Status	Not Completed			LB	1	\$41	\$0		\$60		
								PA	1	\$45	\$5		\$74		
							Deficiency Subtotal		5	\$243	\$85	1.47	\$482		
OFFICERS CLUB	2007	3	02	HR	DM	20 SF	Contract	CA	1	\$52	\$38		\$132	ST 0004.2	REPLACE EXTERIOR PAINTED SOFFIT BOARD, MULTIPLE STORY, (DAMAGED/HANGING), ON THE SOUTHWEST CORNER OF THE SECOND FLOOR ROOF
				Status	Not Completed			LB	1	\$41	\$7		\$71		
								PA	1	\$15	\$2		\$69		
							Deficiency Subtotal		3	\$138	\$47	1.47	\$272		
OFFICERS CLUB	2007	3	09	HR	DM	536 SF	Contract	PA	12	\$543	\$151	1.47	\$1,020	ST 0005	PREPARE/PAINT/STAIN WOOD STAIRS, (AGED FINISH), IN THE REAR DECK, RAILING, SKIRTING, AND STAIRS - 416 SF, WEST STAIRS TO ROOF - 114 SF, AND RAILING IN SOUTH FRONT ENTRY - 6 LF
				Status	Not Completed										
OFFICERS CLUB	2007	3	01	IF	DM	48 SF	Contract	MA	8	\$424	\$207	1.47	\$928	ST 0006	CHIP/CLEAN/EPOXY GROUT CONCRETE FOUNDATION WALL, (DAMAGED), IN THE NORTH SIDE OF 107 LOUNGE - 8 SF AND SOUTH SIDE OF THE TWO STORY BUILDING - 40 SF
				Status	Not Completed										



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA

MGR:

INSPECTION TYPE:STRUCTURAL

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/02/2004

PHONE:( ) -

INSPECTORS:GREEN, VERA CRUZ

USAGE:RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION
OFFICERS CLUB	38289	2007	3	11	HR DM	2	EA	Contract	CA	2	\$105	\$22	1.47	\$107	ST 0007	REPLACE GALVANIZED DOOR HINGE, (AGED/RUSTED), UNDER THE NORTHEAST DECK AND STAIRS.
					Status											Not Completed
OFFICERS CLUB	38289	2006	2	02	HR DM	48	SF	Contract	MA	6	\$318	\$18		\$494	ST 0008.0	CUT/POINT PAINTED EXTERIOR BRICK WALLS, SPOT POINTING, MULTIPLE STORIES, (GAPPED/SEPARATING FROM WALL), IN THE EAST SIDE OF LIBRARY.
					Status				LB	1	\$41	\$16		\$84		
									PA	1	\$45	\$5		\$74		
								Deficiency Subtotal		8	\$404	\$39	1.47	\$651		
OFFICERS CLUB	38289	2006	2	05	HR DM	16	LF	Contract	SW	4	\$269	\$354	1.47	\$916	ST 0008.1	REPLACE 1 1/2" GALVANIZED STEEL PIPE RAIL, TWO RAILS, (REQUIRED SEISMIC BRACE ON CHIMNEY), INCLUDING MOUNTING BRACKETS ON THE ROOF TO THE CHIMNEY EAST OF OLD LIBRARY.
					Status											Not Completed
OFFICERS CLUB	38289	2006	2	02	HR DM	1	SF	Contract	MA	1	\$53	\$8		\$90	ST 0008.2	REPLACE BRICK VENEER EXTERIOR WALL, MULTIPLE STORY, (DAMAGED), ON THE CHIMNEY OVER THE SECOND FLOOR ROOF.
					Status				LB	1	\$41	\$2		\$63		
								Deficiency Subtotal		2	\$94	\$10	1.47	\$153		
OFFICERS CLUB	38289	2014	10	02	HR CR	168	SF	Contract	MA	20	\$1,538	\$626		\$3,161	ST 0009.0	REPLACE BRICK VENEER EXTERIOR WALL, MULTIPLE STORY, (SEPARATING FROM WALL), IN THE EAST SIDE OF THE OLD LIBRARY.
					Status				LB	15	\$614	\$149		\$1,122		
								Deficiency Subtotal		44	\$2,152	\$775	1.47	\$4,303		
OFFICERS CLUB	38289	2014	10	01	HR CR	21	SF	Contract	CA	14	\$734	\$1,301		\$2,991	ST 0009.1	REPLACE CONCRETE FOUNDATION WALL, (IN CONJUNCTION WITH CHIMNEY REPLACEMENT), INCLUDING DEMOLITION OF EXISTING CHIMNEY, IN THE SOUTHEAST CORNER OF THE BUILDING AND EAST OF OLD LIBRARY.
					Status				LB	44	\$1,802	\$191		\$2,930		
								Deficiency Subtotal		58	\$2,536	\$1,492	1.47	\$5,921		
OFFICERS CLUB	38289	2006	2	05	HR DM	119	SF	Contract	PA	9	\$407	\$101	1.47	\$747	ST 0010	PREPARE/PAINT EXTERIOR METAL SPECIALTIES, (NEW INSTALLATION), ON THE SEISMIC BRACING ON TOP OF ROOF AND CHIMNEY EAST OF THE OLD LIBRARY.
					Status											Not Completed
OFFICERS CLUB	38289	2007	3	01	HR DM	1	EA	Contract	MA	2	\$106	\$37	1.47	\$210	ST 0011	REPLACE FOUNDATION VENT, WITH DAMPER, (INADEQUATE PLYWOOD COVER), IN THE EAST WALL OF THE DINING ROOM 1.
					Status											Not Completed
OFFICERS CLUB	38289	2008	4	07	IF CY	3	SY	Contract	TL	1	\$48	\$95		\$210	ST 0012	REPLACE CARPET, (AGED/REACHING END OF USEFUL LIFE), IN THE FRONT VESTIBULE - 2 YD AND EXTERIOR STOOP
					Status				LB	1	\$41	\$0		\$60		
								Deficiency Subtotal		2	\$89	\$95	1.47	\$270		



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA

MGR:

INSPECTION TYPE:STRUCTURAL

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/02/2004

PHONE:( ) -

INSPECTORS:GREEN, VERA CRUZ

USAGE:RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION
OFFICERS CLUB	38289	2008	4	11	HR CR	2 EA	Contract	CA	19	\$907	\$3,082		\$5,996	ST	REPLACE ALUMINUM ANODIZED
					Status Not Completed				5	\$336	\$1,199		\$2,256	0013	STOREFRONT DOOR AND FRAME, 3' X 7'., (AGING), 28" X 95" DOUBLE DOOR, IN THE FRONT VESTIBULE.
								Deficiency Subtotal	24	\$1,333	\$4,281	1.47	\$8,253		
OFFICERS CLUB	38289	2007	3	S0	SI DM	4,739 SF	Contract	OP	18	\$961	\$389	1.47	\$1,985	ST	SEAL COAT ASPHALT PAVEMENT, (CRACK SURFACES), THROUGHOUT THE FRONT DRIVEWAY.
					Status Not Completed									0014.0	
OFFICERS CLUB	38289	2007	3	S0	SI DM	20 LF	Contract	CA	3	\$157	\$289		\$656	ST	REPLACE CONCRETE CURB AND
					Status Not Completed			LB	5	\$205	\$43		\$365	0014.1	GUTTER, STRAIGHT, (DAMAGED/IN CONJUNCTION WITH), AT THE ENTRANCE OF DRIVEWAY.
								Deficiency Subtotal	8	\$362	\$332	1.47	\$1,020		
OFFICERS CLUB	38289	2007	3	S0	SI DM	40 SF	Contract	OP	2	\$107	\$32	1.47	\$204	ST	REPLACE ASPHALT PAVING, (ROOT DAMAGED/IN CONJUNCTION WITH), AT THE ENTRANCE OF DRIVEWAY.
					Status Not Completed									0014.2	
OFFICERS CLUB	38289	2007	3	S0	SI DM	47 LF	Contract	OP	2	\$107	\$43	1.47	\$221	ST	REPLACE CONSTRUCTION JOINTS IN CONCRETE SIDEWALK CONSISTS OF REPLACING BITUMINOUS EXPANSION MATERIAL IN EXISTING SLOT, BITUMINOUS FIBER 1/2" X 6", (DETERIORATED/GRASS GROWTH), THROUGHOUT THE EXTERIOR PAVING.
					Status Not Completed									0014.3	
OFFICERS CLUB	38289	2007	3	S0	SI DM	210 SF	Contract	CA	10	\$525	\$513		\$1,526	ST	REPLACE CONCRETE SIDEWALK, OVER 8
					Status Not Completed			LB	8	\$328	\$31		\$528	0014.4	SF, (UNEVEN/INCOMPLETE), IN THE NORTH SIDE OF THE BUILDING.
								Deficiency Subtotal	18	\$853	\$544	1.47	\$2,054		
OFFICERS CLUB	38289	2006	2	08	IF DM	28 EA	Contract	CA	3	\$157	\$0	1.47	\$231	ST	SECURE INTERIOR WALL FASTENER, (OPEN JOINT ON VINYL WALL COVERING), IN ROOM 107 LOUNGE - 20 LF, 105 NORTH RECEPTION HALL - 8 LF.
					Status Not Completed									0015	
OFFICERS CLUB	38289	2010	6	08	IF CR	8,788 SF	Contract	PH	411	\$18,701	\$12,813	1.47	\$46,326	ST	REPLACE VINYL WALL COVERING, (AGING), IN ROOMS 101 DINING ROOM 1 - 1,358 SF, 102 OLD LIBRARY - 1,019 SF, 105 NORTH RECEPTION HALL - 951 SF, 106 NORTH RECEPTION HALL - 1,490 SF, 107 LOUNGE - 1,406 SF, 109 EAST OF DINING ROM - 113 DINING ROOM 1 - 2,146 SF.
					Status Not Completed									0016	
Overridden OFFICERS CLUB	38289	2010	6	08	IF CY	180 LF	Contract	PA	8	\$362	\$74	1.47	\$641	ST	PREPARE/PAINT/STAIN INTERIOR WOOD TRIM, (AGING), IN ROOM 105 NORTH RECEPTION HALL - 84 LF AND 106 SOUTH RECEPTION HALL - 96 LF
					Status Not Completed									0017	
								Overridden/Unlisted Reason							INCREASED MATERIAL COST FOR TYPE OF PAINT



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA

MGR:

INSPECTION TYPE:STRUCTURAL

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/02/2004 PHONE:( )

INSPECTORS:GREEN, VERA CRUZ

USAGE:RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE	REF #	DESCRIPTION
OFFICERS CLUB	38289	2008	4	08	IF CY	33.633	SF	Contract	PA	538	\$24,345	\$4,742	1.47	\$42,758	ST 0018		PREPARE/PAINT INTERIOR WALLS AND CEILINGS, (AGED), INCLUDING WOOD REFINISHING, IN PAINTED WALLS AND CEILING THROUGHOUT INTERIOR FIRST FLOOR - 18,395 SF, BASEMENT - 5,068 SF, AND SECOND FLOOR - 10,170 SF.
OFFICERS CLUB	38289	2008	4	08	IF CY	2,358	SF	Contract	PA	38	\$1,720	\$332	1.47	\$3,016	ST 0019		PREPARE/PAINT INTERIOR WALLS AND CEILINGS, (AGING), IN WALL AND CEILING TRIM IN VINYL WALL COVERED ROOMS 101 DINING ROOM 1 - 360 SF, 102 OLD LIBRARY - 336 LF, 105 NORTH RECEPTION HALL - 263 LF, 106 SOUTH RECEPTION HALL - 428 LF, 113 DINING ROOM 2 - 971 LF.
OFFICERS CLUB	38289	2008	4	08	IF CY	283	LF	Contract	PA	13	\$588	\$58	1.47	\$950	ST 0019.2		PREPARE/PAINT/STAIN INTERIOR WOOD TRIM, (AGING FINISH), IN DOOR OPENING WITHOUT DOORS AND VINYL COVERED WALL.
OFFICERS CLUB	38289	2008	4	08	IF CY	1,506	LF	Contract	PA	71	\$3,213	\$310	1.47	\$5,179	ST 0019.a		PREPARE/PAINT/STAIN INTERIOR WOOD TRIM, (AGING FINISH), WINDOW TRIMS OF ROOMS WITH VINYL WALL COVER IN ROOM 101 DINING ROOM 1 - 300 LF, 102 LIBRARY - 84 LF, 107 LOUNGE - 435 LF, 113 DINING ROOM - 683 LF.
Overridden OFFICERS CLUB	38289	2008	4	08	IF CY	36	LF	Contract	PA	8	\$362	\$30	1.47	\$576	ST 0020		PREPARE/PAINT/STAIN INTERIOR WOOD TRIM, (AGING), ORNATE TRANSOM, IN DOORS OF ROOM 107 LOUNGE - 12 SF, 105 NORTH RECEPTION HALL EAST - 12 SF, 105 NORTH RECEPTION HALL WEST - 12 SF.
Overridden/Unlisted Reason: INCREASED COST DUE TO ORNATE TRANSOM																	
OFFICERS CLUB	38289	2008	4	11	IF CY	10	EA	Contract	PA	17	\$769	\$52	1.47	\$1,207	ST 0021		PREPARE AND PAINT WOOD INTERIOR DOOR AND FRAME, UP TO 3' X 7', (AGING), IN ROOMS WITHOUT WALL PAINTING REQUIRED, IN BETWEEN 106 SOUTH RECEPTION HALL AND 102 OLD LIBRARY, BETWEEN 106 SOUTH RECEPTION HALL AND WOMENS RESTROOM, BETWEEN 105 NORTH RECEPTION HALL AND 107 LOUNGE - 2 EA, BETWEEN 107 LOUNGE AND DINING ROOM 1 - 2 EA, 106 SOUTH RECEPTION HALL AND 111 COAT ROOM, 106 SOUTH RECEPTION HALL AND KITCHEN SERVING AREA, 106 SOUTH RECEPTION



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB		LOCATION CODE GOGA		MGR:											
INSPECTION TYPE:STRUCTURAL		OTHER ID FT. MASON FM-1		INSPECTION DATE: 02/02/2004 PHONE:( ) -											
INSPECTORS:GREEN, VERA CRUZ		USAGE:RES		RESIDENTIAL FACILITIES											
SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION	
													ST 0021	HALL AND 110 OFFICE, 106 SOUTH RECEPTION HALL AND SOUTH STORAGE ROOM.	
38289	2003	4	08	IF CY	409 SF	Contract	PA	10	\$453	\$67	1.47	\$764	ST 0022	PREPARE/PAINT/STAIN INTERIOR CABINETS AND CASEWORK, (AGING), IN THE 107 LOUNGE BAR - 409 SF.	
				Status	Not Completed										
38289	2003	4	03	IF CY	506 SF	Contract	CA	13	\$682	\$14	1.47	\$1,023	ST 0023	SAND/REFINISH HARDWOOD FLOOR, (AGING), IN 107 LOUNGE BAR - 95 SF, SECOND FLOOR HALLWAYS - 411 SF.	
				Status	Not Completed										
38289	2003	4	07	IF CR	152 SF	Contract	LB	8	\$328	\$1,004	1.47	\$1,958	ST 0024	REPLACE SAFETY MATS 2' X 2' INTERLOCKING, 1/2" THICK, NOT CEMENTED, (AGING), IN ROOM 107 LOUNGE BAR - 72 SF AND BASEMENT LOUNGE BAR - 80 SF.	
				Status	Not Completed										
38289	2003	4	08	IF CR	753 SF	Contract	PL	12	\$569	\$142		\$1,045	ST 0025	REPAIR INTERIOR PLASTER WALL WITH THIN COAT OF VENEER PLASTER, (INCOMPLETE FINISH), IN ROOM 117 FIRST FLOOR MECHANICAL ROOM.	
				Status	Not Completed										
								Deficiency Subtotal	23	\$1,067	\$214	1.47	\$1,883		
38289	2003	4	09	IF CY	33 LF	Contract	PA	2	\$91	\$10	1.47	\$148	ST 0026	PREPARE/PAINT WOOD RAILING AND BALUSTRADE., (AGING), IN DINING ROOM 2-TO THE LOUNGE AT THE BASEMENT.	
				Status	Not Completed										
38289	2005	2	09	IF DM	4 EA	Contract	CA	2	\$105	\$10	1.47	\$169	ST 0027	SECURE RAILING FASTENERS, (LOOSE FASTENERS), IN THE RAILING FROM DINING ROOM 1 TO THE BASEMENT LOUNGE - 3 EA.	
				Status	Not Completed										
38289	2003	4	07	IF CR	344 LF	Contract	CA	18	\$944	\$365	1.47	\$1,924	ST 0028	REPLACE ANTI-SLIP ABRASIVE TAPE ON FLOORS, 3" TO 6" WIDE, (DETERIORATED/WORN), IN THE 114 KITCHEN FLOOR.	
				Status	Not Completed										
38289	2003	4	06	IF CR	268 SF	Contract	PL	13	\$617	\$126		\$1,092	ST 0029.0	REPLACE PLASTER CEILING, NO LATH, OVER 5 SF PER LOCATION, (DAMAGED), INCLUDING WALLS, IN THE 114 KITCHEN - 100 SF, 114A DRY STORAGE - 80 SF, 114C MENS RESTROOM - 16 SF, BASEMENT LOUNGE STORAGE EAST - 72 SF.	
				Status	Not Completed										
								Deficiency Subtotal	48	\$2,063	\$159	1.47	\$3,266		
38289	2003	4	08	IF CR	585 SF	Contract	PL	9	\$427	\$111		\$791	ST 0029.1	REPAIR INTERIOR PLASTER WALL WITH THIN COAT OF VENEER PLASTER, (MISSING/DAMAGED), IN 105 NORTH RECEPTION HALL - 100 SF, 114A KITCHEN STORAGE - 583 SF AND BASEMENT LOUNGE STORAGE EAST - 217 SF.	
				Status	Not Completed										
								Deficiency Subtotal	17	\$789	\$167	1.47	\$1,405		



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE:STRUCTURAL OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/02/2004 PHONE:( ) -  
 INSPECTORS:GREEN, VERA CRUZ USAGE:RES RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP REF #	TYPE	DESCRIPTION
OFFICERS CLUB	2006	2	08	IF	DM	1	EA	Contract	CA	2	\$105	\$0	1.47	\$154	0030	ST	SECURE INTERIOR WALL FASTENER, (STAINLESS STEEL TRIM SPRUNG UP), IN THE KITCHEN SCULLERY.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	2	EA	Contract	CA	8	\$420	\$1,032	1.47	\$2,134	0031.0	ST	REPLACE WATER CLOSET COMPARTMENT, PAINTED METAL, (AGED/MISSING), IN THE KITCHEN MENS AND WOMENS RESTROOM .
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	1	EA	Contract	CA	2	\$105	\$303	1.47	\$600	0031.1	ST	REPLACE URINAL SCREEN, 10" WIDE, WALL MOUNTED, PAINTED METAL, (MISSING), IN THE KITCHEN MENS RESTROOM.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	2	EA	Contract	MA	2	\$105	\$10	1.47	\$171	0032	ST	SEAL/PATCH HOLE IN INTERIOR MASONRY/CONCRETE WALL, (DAMAGED), IN THE 114B KITCHEN WOMENS RESTROOM.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	4	LF	Contract	TL	2	\$96	\$16	1.47	\$165	0033	ST	REPLACE CERAMIC COVE BASE, (DAMAGED/MISSING), IN ROOM 114E KITCHEN SCULLERY.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	8	SF	Contract	GL	2	\$100	\$260	1.47	\$541	0034	ST	REPLACE WALL MOUNTED MIRROR WITH STAINLESS STEEL FRAME, (MISSING), IN THE KITCHEN MENS AND WOMENS BATHROOMS.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	2	EA	Contract	CA	2	\$105	\$167	1.47	\$400	0035	ST	REPLACE SOAP DISPENSER, CHROME, (MISSING), IN THE MENS AND WOMENS BATHROOMS.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	2	EA	Contract	CA	2	\$105	\$89	1.47	\$285	0036	ST	REPLACE PAPER TOWEL DISPENSER, (MISSING), IN THE KITCHEN MENS AND WOMENS BATHROOMS.
					Status	Not Completed											
OFFICERS CLUB	2008	4	08	IF	CR	2	EA	Contract	CA	2	\$105	\$136	1.47	\$354	0037	ST	REPLACE JUMBO ROLL WATER CLOSET TISSUE DISPENSER, (MISSING), IN THE KITCHEN MENS AND WOMENS BATHROOMS.
					Status	Not Completed											
OFFICERS CLUB	2008	4	10	IF	CY	56	SF	Contract	PA	6	\$272	\$10		\$415	0038	ST	PREPARE AND PAINT WOVEN WIRE WINDOW SECURITY CAGE., (RUSTING), 39" X 27", INSIDE THE KITCHEN - 16 SF, 114A KITCHEN STORAGE - 24 SF, 114B KITCHEN WOMENS RESTROOM - 8 SF, 114C KITCHEN MENS RESTROOM - 8 SF.
					Status	Not Completed											
								Deficiency Subtotal		7	\$313	\$10	1.47	\$475			



FACILITY INSPECTION DETAILS NPS - BAH

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ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA MGR:

INSPECTION TYPE:STRUCTURAL

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/02/2004 PHONE:( ) -

INSPECTORS:GREEN, VERA CRUZ

USAGE:RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE	REF #	DESCRIPTION
OFFICERS CLUB	2008	4	10	EX	CY	46	SF	Contract	PA	5	\$226	\$10		\$347	ST		PREPARE AND PAINT WOVEN WIRE WINDOW SECURITY CAGE., (AGING), 37" X 86", IN THE EXTERIOR OF 110 OFFICE.
					Status Not Completed				LB	1	\$41	\$0		\$60	0039		
								Deficiency Subtotal		6	\$267	\$10	1.47	\$407			
OFFICERS CLUB	2008	4	11	IF	CR	2	EA	Contract	CA	2	\$105	\$32	1.47	\$201	ST		REPLACE WOOD ATTIC ACCESS COVER, UP TO 4' X 4', (MISSING), 40" X 40", IN INTERIOR OF ROOMS 114A KITCHEN DRY STORAGE AND 40" X 36" IN SECOND FLOOR SOUTHWEST PASSAGEWAY.
					Status Not Completed										0040		
OFFICERS CLUB	2008	4	08	IF	CR	1,463	SF	Contract	PH	68	\$3,094	\$2,133	1.47	\$7,684	ST		REPLACE VINYL WALL COVERING, (AGED/DAMAGED), IN THE KITCHEN SERVING AREA.
					Status Not Completed										0041		
OFFICERS CLUB	2008	4	07	IF	CR	790	SF	Contract	TL	16	\$766	\$789	1.47	\$2,286	ST		INSTALL 12" X 12" VINYL FLOOR TILE, DOES NOT INCLUDE REMOVAL OF EXISTING MATERIAL, (AGED/DAMAGED/MISSING), IN THE KITCHEN SERVING AREA - 485 SF, ROOM WEST OF KITCHEN SERVING AREA - 209 SF, AND STAIRWAY LANDING FROM DINING ROOM 2 TO THE BASEMENT LOUNGE - 16 SF.
					Status Not Completed										0042.0		
OFFICERS CLUB	2008	4	03	IF	CR	289	SF	Contract	MA	16	\$849	\$129		\$1,438	ST		RESURFACE CONCRETE FLOOR WITH 1" TOPPING, (UNEVEN FLOOR), IN THE ROOMS WEST OF KITCHEN SERVING AREA.
					Status Not Completed				LB	1	\$41	\$1		\$62	0042.1		
								Deficiency Subtotal		17	\$890	\$130	1.47	\$1,499			
OFFICERS CLUB	2008	4	03	IF	CR	16	SF	Contract	CA	2	\$105	\$117	1.47	\$326	ST		REPLACE PARQUET FLOOR, (LOOSE), IN THE BASEMENT LOUNGE SOUTHWEST CORNER.
					Status Not Completed										0043.0		
OFFICERS CLUB	2008	4	03	IF	CR	16	SF	Contract	CA	1	\$52	\$12		\$94	ST		REPLACE PLYWOOD SUBFLOORING, (BOUNCING/LOOSE WOOD FLOORING), IN THE BASEMENT LOUNGE.
					Status Not Completed				LB	7	\$287	\$0		\$422	0043.1		
								Deficiency Subtotal		8	\$339	\$12	1.47	\$516			
OFFICERS CLUB	2008	4	08	IF	CR	781	SF	Contract	CA	12	\$629	\$609	1.47	\$1,820	ST		REPLACE INTERIOR PLYWOOD SHEETING, (DETERIORATED SHEETROCK WALL), PLYWOOD VISE SHEETROCK DUE FURNITURE STORAGE, IN 119 DINING ROOM 2 WEST STORAGE.
					Status Not Completed										0044.0		
OFFICERS CLUB	2008	4	02	IF	CR	781	SF	Contract	CA	5	\$262	\$358	1.47	\$911	ST		REPLACE EXTERIOR WALL FIBERGLASS INSULATION, FOIL FACED, (IN CONJUNCTION WITH NEW INTERIOR WALL), IN THE 119 STORAGE ROOM
					Status Not Completed										0044.1		



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 30209 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE:STRUCTURAL OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/02/2004 PHONE:( ) -  
 INSPECTORS:GREEN, VERA CRUZ USAGE:RES RESIDENTIAL FACILITIES

SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION	
														ST 0044.1	WEST OF DINING ROOM 2.	
30209	2008	4	09	IF CY	141	LF	Contract	PA	7	\$317	\$64	1.47	\$560	ST 0045	PREPARE AND PAINT OR STAIN WOOD STAIR RAILING AND BALUSTRADE, (AGING), 39" HIGH, IN THE STAIRWELL TO SECOND FLOOR.	
OFFICERS CLUB Status Not Completed																
30209	2008	4	07	IF CY	17	SY	Contract	TL	3	\$144	\$537		\$1,001	ST 0045.2	REPLACE CARPET, (AGING), IN THE STAIRWELL TO SECOND FLOOR.	
OFFICERS CLUB Status Not Completed																
									1	\$41	\$0		\$60			
Deficiency Subtotal										4	\$185	\$537	1.47	\$1,061		
30209	2008	4	09	IF CY	100	SF	Contract	PA	2	\$91	\$30	1.47	\$170	ST 0045.a	PREPARE/PAINT/STAIN WOOD STAIRS, (AGING), IN THE STAIRWELL TO SECOND FLOOR.	
OFFICERS CLUB Status Not Completed																
30209	2008	4	08	IF CY	22	LF	Contract	CA	2	\$105	\$10	1.47	\$169	ST 0046	CLEAN/CAULK JOINT AT WALL AND COUNTERTOP, (AGING), IN THE FIRST FLOOR WOMENS BATHROOM.	
OFFICERS CLUB Status Not Completed																
30209	2006	2	11	EX DM	2	EA	Contract	CA	2	\$105	\$10	1.47	\$169	ST 0047	ALIGN/ADJUST ROLLING SERVICE DOOR, (SCRATCHING DOOR PANEL OF POCKET DOOR), IN THE WALL BETWEEN FIRST FLOOR 107 LOUNGE AND 105 NORTH RECEPTION HALL.	
OFFICERS CLUB Status Not Completed																
30209	2008	4	10	EX CR	6	LF	Contract	CA	2	\$105	\$61	1.47	\$244	ST 0048	REPLACE MARBLE WINDOW SILL, INTERIOR OR EXTERIOR, (DAMAGED), MARBLE TILES SILL, IN THE 113 DINING ROOM 2.	
OFFICERS CLUB Status Not Completed																
30209	2007	3	11	EX DM	71	LF	Contract	CA	8	\$420	\$290	1.47	\$1,055	ST 0049.0	REPLACE EXTERIOR DOOR WEATHERSTRIPPING, NEOPRENE/ALUMINUM STRIP, (DETERIORATED/MISSING), IN 113 DINING ROOM 2 WEST - 17 LF, BASEMENT LOUNGE WEST ENTRANCE - 17 LF, 101 DINING ROOM 1 SOUTHEAST - 20 LF, 101 DINING ROOM 1 NORTHWEST - 17 LF.	
OFFICERS CLUB Status Not Completed																
30209	2007	3	11	EX DM	5	EA	Contract	CA	2	\$105	\$39	1.47	\$212	ST 0049.1	REPLACE THRESHOLD WEATHERSTRIPPING, DOOR SWEEP, FLUSH MOUNT, ALUMINUM, (DETERIORATED/MISSING), IN THE 113 DINING ROOM 2, BASEMENT LOUNGE, 101 DINING ROOM 1 - 3 EA.	
OFFICERS CLUB Status Not Completed																



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE: STRUCTURAL OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/02/2004 PHONE: ( ) -  
 INSPECTORS: GREEN, VERA CRUZ USAGE: RES RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE	REF #	DESCRIPTION
OFFICERS CLUB	38289	2007	3	11	EX DM	7	LF	Contract	CA	2	\$105	\$58	1.47	\$240	ST 0049.2		REPLACE ASTRAGAL WEATHERSTRIPPING ON EXTERIOR DOOR, ALUMINUM STRIP/PILE INSERT, (DETERIORATED/MISSING), IN THE DINING ROOM 1 SOUTHEAST ENTRY.
OFFICERS CLUB	38289	2008	4	11	IF CR	6	EA	Contract	LK	6	\$404	\$547	1.47	\$1,398	ST 0050		REPLACE INTERIOR DOOR LATCH/LOCKSET, KEYED, (MISSING/HAS ONLY DEADBOLT), IN 119 WEST OF KITCHEN STORAGE ROOM, 118 SOUTHWEST STORAGE ROOM, 114D KITCHEN SOUTHWEST PASSAGE DOOR, 112 KITCHEN SERVING AREA EAST, BASEMENT SOUTHEAST STORAGE ROOM, KITCHEN NORTHWEST PASSAGE..
OFFICERS CLUB	38289	2008	4	11	EX CR	3	EA	Contract	CA	2	\$105	\$16	1.47	\$178	ST 0051.0		REPLACE ALUMINUM FLOOR MOUNTED DOOR BUMPER STOP, (MISSING), IN ROOM 114 KITCHEN NORTHWEST PASSAGE, 114C KITCHEN MENS RESTROOM, 114D KITCHEN SOUTHWEST PASSAGE..
OFFICERS CLUB	38289	2008	4	11	EX CR	4	EA	Contract	CA	2	\$105	\$26	1.47	\$193	ST 0051.1		REPLACE WALL MOUNTED ALUMINUM DOOR STOP/BUMPER, (DETERIORATED/MISSING), IN ROOMS 114B KITCHEN WOMENS RESTROOM, 115 ROOM WEST OF KITCHEN SERVING AREA, BASEMENT FOYER WEST, 102 OLD LIBRARY.
OFFICERS CLUB	38289	2008	4	11	EX CR	3	EA	Contract	CA	5	\$262	\$39	1.47	\$442	ST 0052.0		ALIGN/ADJUST DOOR, (BINDING), IN ROOM 114E KITCHEN PASSAGE NORTHWEST, BASEMENT MENS RESTROOM, 101 DINING ROOM NORTHWEST.
OFFICERS CLUB	38289	2008	4	11	EX CR	12	EA	Contract	CA	12	\$629	\$455	1.47	\$1,593	ST 0052.1		REPLACE BRASS DOOR HINGE, (AGED/WORN), IN BASEMENT MENS RESTROOM - 3 EA, 101 DINING ROOM 1 SOUTHEAST - 6 EA, 101 DINING ROOM NORTHWEST - 3 EA.
OFFICERS CLUB	38289	2008	4	11	EX CR	4	EA	Contract	LK	10	\$673	\$2,673	1.47	\$4,919	ST 0053		REPLACE PANIC HARDWARE, (AGED/WORN AND NOT PANIC HARDWARE), IN THE DINING ROOM 1 - 3 EA, DINING ROOM 2.



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA MGR:

INSPECTION TYPE:STRUCTURAL

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/02/2004 PHONE:( ) -

INSPECTORS:GREEN, VERA CRUZ

USAGE:RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL INSP COST	INSP TYPE REF #	DESCRIPTION
OFFICERS CLUB	2003	4	11	IF	CR	1	AY	Contract	CA	2	\$105	\$208		\$578	ST	REPLACE 3' X 7' WOOD INTERIOR SOLID
					Status Not Completed				IB	1	\$41	\$0		\$60	0054	CORE DOOR, FRAME AND HARDWARE,
									LK	1	\$67	\$128		\$287		HALF GLASS, (WARPED), 42" X 107, IN
									PA	1	\$45	\$0		\$79		THE KITCHEN SERVING AREA EAST -
														\$1,004		PASSAGEWAY.
										Deficiency Subtotal	5	\$258	\$425 1.47			
OFFICERS CLUB	2003	4	11	EX	CR	56	LF	Contract	CA	2	\$105	\$30		\$198	ST	REPLACE WOOD DOOR MOLDING,
					Status Not Completed				PA	2	\$91	\$0		\$146	0055	EXTERIOR, (DAMAGED/MISSING), IN
														\$344		ROOMS BASEMENT STORAGE
										Deficiency Subtotal	4	\$196	\$38 1.47			
																SOUTHEAST - 14 LF, BASEMENT
																STORAGE SOUTHWEST - 14 LF,
																BASEMENT LOUNGE SOUTHEAST - 14 LF,
																BASEMENT MECHANICAL ROOM - 14 LF, .
OFFICERS CLUB	2003	2	10	IF	DM	9	SF	Contract	GL	3	\$150	\$116	1.47	\$391	ST	REPLACE UNTEMPERED CLEAR WINDOW
					Status Not Completed										0056	GLASS, SET WITH GASKET, (DAMAGED),
																24" X 34", IN SECOND FLOOR
																SOUTHWEST PASSAGEWAY.
OFFICERS CLUB	2003	4	07	IF	CY	903	SY	Contract	TL	144	\$6,098	\$28,550		\$52,109	ST	REPLACE CARPET, (AGING/WEARING), IN
					Status Not Completed				LB	65	\$2,662	\$0		\$3,913	0057	ROOMS 101 DINING ROOM 1 - 193 SY, 102
																OLD LIBRARY - 44 SY, 103 WOMENS
																RESTROOM - 13 SY, 105 NORTH
																RECEPTION HALL - 49 SY, 106 SOUTH
																RECEPTION HALL - 76 SY, 106A STORAGE
																EAST OF FRONT ENTRY - 7 SY, 106B
																FOYER TO OFFICE - 4 SY, 107 LOUNGE -
																48 SY, 109 ROOM EAST OF DINING ROOM
																2 - 19 SY, 110 OFFICE - 20 SY, 111 COAT
																ROOM - 8 SY, 113 DINING ROOM 2 - 227
																SY, BASEMENT FOYER - 12 SY,
																BEDROOM 1 - 26 SY, BEDROOM 2 - 26 SY,
																BEDROOM 3 - 54 SY, BEDROOM 4 - 27 SY,
																BEDROOM 4A - 27 SY, AND BEDROOM 5 -
																23 SY.
OFFICERS CLUB	2008	4	11	EX	CR	7	LF	Contract	CA	1	\$52	\$0		\$88	ST	REPLACE WOOD DOOR FRAME STOP,
					Status Not Completed				PA	1	\$45	\$2		\$69	0058	EXTERIOR, (DAMAGED/MISSING), 1 1/2" X
																80", IN THE KITCHEN SOUTHWEST
																PASSAGE.
										Deficiency Subtotal	2	\$97	\$10 1.47			
OFFICERS CLUB	2008	4	01	IF	CR	47	SF	Contract	CA	32	\$1,678	\$2,913		\$6,749	ST	REPLACE CONCRETE FOUNDATION
					Status Not Completed				LB	98	\$4,013	\$426		\$6,525	0059.0	WALL, (TOO LOW/WATER DAMAGED ON
																EXTERIOR WOOD SIDING), IN THE
																SOUTHWEST STORAGE ROOM.
										Deficiency Subtotal	130	\$5,691	\$3,339 1.47			



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE:STRUCTURAL OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/02/2004 PHONE:( )  
 INSPECTORS:GREEN, VERA CRUZ USAGE:RES RESIDENTIAL FACILITIES

SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL INSP COST	INSP TYPE REF #	DESCRIPTION	
38289	2008	4	08	IF	CR	677 SF	Contract CA	11	\$577	\$528	1.47	\$1,624	ST 0059.1	REPLACE INTERIOR PLYWOOD SHEETING (NONE INSTALLED), IN THE SOUTHWEST STORAGE ROOM.	
OFFICERS CLUB Status Not Completed															
38289	2008	4	06	IF	CR	601 SF	Contract CA	25	\$1,311	\$178		\$2,189	ST 0059.2	REPLACE DRY WALL CEILING, OVER 5 SF PER LOCATION, (MISSING), IN THE SOUTHWEST STORAGE ROOM.	
OFFICERS CLUB Status Not Completed															
									Deficiency Subtotal	33	\$1,673	\$251	1.47	\$2,028	
38289	2008	4	03	IF	CR	406 SF	Contract CF	25	\$1,195	\$508	1.47	\$2,503	ST 0059.3	REPLACE UP TO 6" CONCRETE FLOOR SLAB, OVER 100SF, (UNEVEN/ORIGINAL SITE PAVEMENT), IN THE SOUTHWEST STORAGE ROOM.	
OFFICERS CLUB Status Not Completed															
38289	2006	2	50	HR	DM	180 SF	Contract CA	21	\$1,101	\$293	1.47	\$2,019	ST 0060.0	REPLACE 2" X 6" WOOD DECKING FOR EXTERIOR DECK, (DETERIORATING/IN CONJUNCTION WITH BUILT-UP ROOF REPLACEMENT), IN THE SECONDARY ESCAPE ROUTE FROM SECOND FLOOR ON THE FLAT ROOF WEST SIDE OF THE BUILDING.	
OFFICERS CLUB Status Not Completed															
38289	2006	2	09	HR	DM	120 LF	Contract CA	21	\$1,101	\$877		\$2,908	ST 0060.1	REPLACE WOOD STAIR RAILING, (SINGLE RAIL AND POSTS.), (IN CONJUNCTION WITH DECKING), ON THE SECOND FLOOR ESCAPE ROUTE ON THE FLAT ROOF WEST SIDE OF THE BUILDING.	
OFFICERS CLUB Status Not Completed															
									Deficiency Subtotal	3	\$136	\$27		\$240	
									Deficiency Subtotal	24	\$1,237	\$904	1.47	\$3,147	
38289	2008	4	10	HR	CR	6 EA	Contract CA	6	\$315	\$3,078		\$4,988	ST 0061	REPLACE AWNING WINDOW, INCLUDING INSULATING GLASS, WOOD FRAME, 7 TO 12 SF, (WATER DAMAGED), 39" X 27", IN THE KITCHEN WOMENS RESTROOM - 1 EA, KITCHEN MENS RESTROOM - 1 EA, KITCHEN EAST WALL - 2 EA, KITCHEN STORAGE ROOM - 2 EA.	
OFFICERS CLUB Status Not Completed															
									Deficiency Subtotal	3	\$123	\$0		\$181	
									Deficiency Subtotal	12	\$543	\$19		\$826	
									Deficiency Subtotal	21	\$981	\$3,097	1.47	\$5,995	
38289	2012	8	10	HR	CR	2,913 LF	Contract GL	230	\$11,523	\$556		\$17,756	ST 0062	REPLACE GLAZING COMPOUND IN WINDOW, MULTIPLE STORY, (AGING), THROUGHOUT THE BUILDING.	
OFFICERS CLUB Status Not Completed															
									Deficiency Subtotal	38	\$1,556	\$964		\$3,704	
									Deficiency Subtotal	268	\$13,079	\$1,520	1.47	\$21,461	
Total Cost for Inspection Type												\$349,318			



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE:ELECTRICAL OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/02/2004 PHONE:( )  
 INSPECTORS:GREEN, VERA CRUZ USAGE:RES RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION
OFFICERS CLUB	38289	2004	0	16	EL SF	1	EA	Contract	EL	3	\$174	\$149	1.47	\$475	EL 0001	REPLACE INTERIOR EMERGENCY BACKUP LIGHTING FIXTURE., (FAULTY EMERGENCY LIGHTS), BASEMENT BAR, NORTHWEST ENTRANCE TO RESTROOM.
OFFICERS CLUB	38289	2004	0	16	EL SF	1	EA	Contract	EL	12	\$606	\$41	1.47	\$1,083	EL 0002	REPLACE 2-PRONG RECEPTACLE WITH 3-PRONG GFCI, (SAFETY HAZARD), IN MENS TOILET/LOCKER ROOM, OFF KITCHEN.
OFFICERS CLUB	38289	2006	2	16	EL DM	1	EA	Contract	EL	2	\$116	\$10	1.47	\$185	EL 0003	REPLACE 2-PRONG RECEPTACLE WITH 3-PRONG RECEPTACLE, (AGED/OBSOLETE), IN WOMENS TOILET, OFF KITCHEN, LEFT OF ENTRANCE DOOR.
OFFICERS CLUB	38289	2004	0	16	EL SF	23	EA	Contract	EL	0	\$622	\$0	1.47	\$767	EL 0004	REPAIR OPEN GROUND OR REVERSED POLARITY ON RECEPTACLE, (HOT AND NEUTRAL WIRES REVERSED), IN ROOMS 102, - 5 EA, 105 ON SOUTHWEST WALL RIGHT OF CLOSET, 106 IN MIDDLE OF SOUTHWEST WALL, 107 ON WATERSIDE WALL - 2 EA AND SOUTHEAST WALL 1-EA, 109 IN MIDDLE OF NORTH WALL - 1 EA AND SOUTHWEST WALL 1-EA, BEDROOM 2 ON SOUTH WALL 1-EA, BEDROOM 3 ON SOUTH WALL 1-EA, EAST WALL 1-EA, AND WEST WALL - 1 EA, BEDROOM 4 ON SOUTH WALL 1-EA, EAST WALL 1-EA, AND WEST WALL - 1 EA, BEDROOM 4 A ON NORTH WALL 1-EA, EAST WALL 1-EA, AND WEST WALL 1-EA, AND BASEMENT BAR IN NORTHEAST CORNER ADJACENT TO RADIATOR 1-EA.
OFFICERS CLUB	38289	2004	0	16	EL SF	1	EA	Contract	EL	2	\$116	\$0	1.47	\$171	EL 0005	SECURE DEVICE, (LOOSE/HANGING WALL SWITCH), IN ROOM 107, MIDDLE SWITCH ON WALL BEHIND BAR NEAR ENTRANCE.

BELOW ARE CHILD ASSETS

OFFICERS CLUB FIRE ALARM PANEL	57008	2014	10	17	EL CR	1	EA	Contract	EL	8	\$464	\$405	1.47	\$1,277	EL 0001	REPLACE ANNUNCIATION PANEL., (PROJECTED END OF USEFUL LIFE), IN ROOM 106, MAIN LOBBY ENTRANCE, SOUTHWEST WALL.
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Total Cost for Inspection Type \$3,958



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE:MECHANICAL OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/02/2004 PHONE:( ) -  
 INSPECTORS:GREEN, VERA CRUZ USAGE:RES RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP REF #	TYPE	DESCRIPTION
OFFICERS CLUB	38289	2005	1	18	PL DM	1	EA	Contract	PU	2	\$117	\$0	1.47	\$172	ME 0001	REMOVE HOT WATER HEATER, INCLUDING ASSOCIATED PIPING, (ABANDONED), 100 GALLON CAPACITY GAS FIRED, IN BASEMENT BOILER ROOM.	
OFFICERS CLUB	38289	2008	4	18	PL CR	1	EA	Contract	PU	9	\$524	\$3,544	1.47	\$5,980	ME 0002	REPLACE COMMERCIAL HOT WATER HEATER, GAS, 73-110 GPH; (AGING), 75 GALLON CAPACITY, IN BASEMENT BOILER ROOM.	
OFFICERS CLUB	38289	2008	4	10	PL CR	1	EA	Contract	PU	6	\$350	\$527	1.47	\$1,289	ME 0003	REPLACE DOMESTIC HOT WATER HEATER, GAS, UP TO 50 GALLONS, (AGING), 30 GALLON CAPACITY, IN ROOM 117.	
OFFICERS CLUB	38289	2005	1	18	PL DM	1	EA	Contract	PU	2	\$117	\$148	1.47	\$390	ME 0004	REPLACE MANUAL FLUSH VALVE, EXPOSED, (LEAKING), URINAL IN ROOM 114C, MENS TOILET OFF KITCHEN.	
OFFICERS CLUB	38289	2010	6	14	HV CR	3	EA	Contract	AC	3	\$188	\$922	1.47	\$1,632	ME 0005	REMOVE AND REPLACE CEILING OR WALL MOUNTED PROPELLER TYPE EXHAUST FAN, 1/8 HP., (AGING), IN ROOMS 107 ABOVE BAR, 114C, AND MENS TOILET IN BASEMENT.	
<b>BELOW ARE CHILD ASSETS</b>																	
OFFICERS CLUB FURNACE 1	57806	2005	1	13	HV DM	1	EA	Contract	AC	11	\$502	\$2,557	1.47	\$4,497	ME 0001	REPLACE FURNACE, HOT AIR HEATING, GAS/OIL, 151 TO 200 MBH, (INOPERATIVE/REACHED END OF USEFUL LIFE), 170 MBH, IN ROOM 117.	
OFFICERS CLUB FURNACE 2	57807	2014	10	13	HV CR	1	EA	Contract	AC	7	\$439	\$1,607	1.47	\$3,008	ME 0002	REPLACE FURNACE, HOT AIR HEATING, GAS/OIL, 95 TO 131 MBH, (PROJECTED END OF USEFUL LIFE), 120 MBH, IN CRAWLSPACE BENEATH WATERSIDE BAR.	

Total Cost for Inspection Type \$16,968



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB

LOCATION CODE GOGA

MGR:

INSPECTION TYPE:ROOF

OTHER ID FT. MASON FM-1

INSPECTION DATE: 02/03/2004 PHONE:( ) -

INSPECTORS:VERA CRUZ

USAGE:RES

RESIDENTIAL FACILITIES

	SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL COST	INSP TYPE REF #	DESCRIPTION
<b>BELOW ARE CHILD ASSETS</b>																
OFFICERS CLUB ROOF 1	57779	2010	6	04	EX CR	4,424	SF	Contract	RO	109	\$5,445	\$2,455		\$11,613	RO 0001	REPLACE ASPHALT SHINGLES, 300 SF AND OVER, (AGING), THROUGHOUT THE SECOND FLOOR ROOF.
					Status Not Completed				SM	63	\$3,717	\$920		\$6,816		
								Deficiency Subtotal		172	\$9,162	\$3,375	1.47	\$18,429		
OFFICERS CLUB ROOF 1	57779	2007	3	04	EX DM	20	SF	Contract	RO	1	\$50	\$15		\$96	RO 0002	REPLACE ASPHALT SHINGLES, UNDER 300 SF, (DAMAGED), THROUGHOUT THE SECOND FLOOR ROOF
					Status Not Completed				SM	1	\$59	\$4		\$93		
								Deficiency Subtotal		2	\$109	\$19	1.47	\$188		
OFFICERS CLUB ROOF 1	57779	2007	3	04	EX DM	1	EA	Contract	PU	2	\$117	\$0	1.47	\$172	RO 0003	CLEAN OUT ROOF DRAIN, (CLOGGED WITH LEAVES), THROUGHOUT THE SECOND FLOOR ROOF.
					Status Not Completed											
OFFICERS CLUB ROOF 2	57780	2010	6	04	EX CR	3,606	SF	Contract	RO	89	\$4,446	\$2,001		\$9,477	RO 0001.0	REPLACE ASPHALT SHINGLES, 300 SF AND OVER, (AGING), THROUGHOUT THE FIRST FLOOR HIP, GABLE AND SHED ROOF.
					Status Not Completed				SM	52	\$3,068	\$750		\$5,612		
								Deficiency Subtotal		141	\$7,514	\$2,751	1.47	\$15,090		
OFFICERS CLUB ROOF 2	57780	2010	6	04	EX CR	13	LF	Contract	SM	2	\$118	\$111	1.47	\$337	RO 0001.1	REPLACE COPPER DOWNSPOUTS, (AGING/DAMAGED), IN THE SOUTHEAST CORNER OF THE OLD LIBRARY.
					Status Not Completed											
OFFICERS CLUB ROOF 2	57780	2007	3	04	EX DM	4	EA	Contract	PU	5	\$291	\$0	1.47	\$428	RO 0002	CLEAN OUT ROOF DRAIN, (CLOGGED WITH LEAVES), THROUGHOUT THE FIRST FLOOR HIP, GABLE AND SHED ROOF.
					Status Not Completed											
OFFICERS CLUB ROOF 3	57781	2006	2	04	EX DM	911	SF	Contract	RO	54	\$2,697	\$1,074		\$5,543	RO 0001.0	REPLACE MODIFIED BITUMINOUS ROOFING, SPS, MOP APPLIED, 300 SF AND OVER, (AGED/BLISTERED), IN THE FIRST FLOOR ROOF OVER THE LOUNGE.
					Status Not Completed				SM	8	\$472	\$541		\$1,489		
								Deficiency Subtotal		62	\$3,169	\$1,615	1.47	\$7,032		
OFFICERS CLUB ROOF 3	57781	2006	2	04	EX DM	14	LF	Contract	SM	2	\$118	\$153	1.47	\$398	RO 0001.1	REPLACE LEAD COATED COPPER DOWNSPOUT, (AGED/DAMAGED), NORTH SIDE OF THE LOUNGE.
					Status Not Completed											
OFFICERS CLUB ROOF 3	57781	2006	2	04	EX DM	59	SF	Contract	PA	4	\$181	\$23	1.47	\$300	RO 0001.2	PREPARE AND PAINT METAL PANEL ROOF, (AGED FINISH ON FLASHING), AROUND THE PERIMETER OF MODIFIED BITUMEN ROOF.
					Status Not Completed											
OFFICERS CLUB ROOF 3	57781	2006	2	04	EX DM	60	SF	Contract	SM	4	\$236	\$86		\$473	RO 0001.3	REPLACE METAL FLASHING ON ROLLED ROOFING, (AGED), ON THE NORTH FLAT ROOF.
					Status Not Completed				RO	4	\$200	\$32		\$341		
								Deficiency Subtotal		8	\$436	\$118	1.47	\$814		
OFFICERS CLUB ROOF 4	57782	2006	2	04	EX DM	7,122	SF	Contract	RO	370	\$18,482	\$10,939		\$43,249	RO 0001.0	REPLACE BUILT-UP ROOFING, 300 SF AND OVER, UP TO 4 PLY, (AGED), IN THE WEST SIDE FLAT ROOF
					Status Not Completed				SM	102	\$6,018	\$1,474		\$11,013		



FACILITY INSPECTION DETAILS NPS - BAH

DATE:05/27/2004

ASSET: 38289 OFFICERS CLUB LOCATION CODE GOGA MGR:  
 INSPECTION TYPE:ROOF OTHER ID FT. MASON FM-1 INSPECTION DATE: 02/03/2004 PHONE:( )  
 INSPECTORS:VERA CRUZ USAGE:RES RESIDENTIAL FACILITIES

SCHED YR	PRI YR	SYS CODE	DEF TYP	WORK TYPE	QTY	UM	LABOR SOURCE	CRAFT CODE	LABOR HOURS	LABOR COST	MATERIAL COST	COST FACTOR	TOTAL INSP COST	INSP TYPE REF #	DESCRIPTION				
Deficiency Subtotal													472	\$24,500	\$12,413	1.47	\$54,262	RO 0001.0	
57782	2005	2	04	HR DM	11	LF	Contract	SM	2	\$118	\$94	1.47	\$312	RO 0001.1	REPLACE COPPER DOWNSPOUTS, (DETERIORATED), IN THE WEST SIDE OF ROOF.				
				Status	Not Completed														
57782	2005	2	04	EX DM	1	EA	Contract	PU	2	\$117	\$0	1.47	\$172	RO 0001.2	CLEAN OUT ROOF DRAIN, (CLOGGED WITH STONE), THROUGHOUT THE WEST ROOF.				
				Status	Not Completed														
57782	2005	2	04	HR DM	779	SF	Contract	PA	48	\$2,172	\$305	1.47	\$3,641	RO 0001.3	PREPARE AND PAINT METAL PANEL ROOF, (AGED FINISH), THROUGHOUT THE PERIMETER OF THE WEST FLAT ROOF INCLUDING DIFFERENT ROOF ELEVATION FLASHING AND WALLS.				
				Status	Not Completed														
57782	2007	3	04	EX DM	6	LF	Contract	CA	2	\$105	\$10	1.47	\$169	RO 0002	REPLACE VINYL DOWNSPOUT, (DOWNSPOUT RUNS OFF OVER SIDEWALK), EXTENSION OVER OR UNDER SIDEWALK, IN THE NORTH SIDE OF DINING ROOM 2.				
				Status	Not Completed														
Total Cost for Inspection Type													\$101,744						

**Appendix E**  
*Paint Matrix*

**FORT MASON OFFICERS' CLUB – INTERIOR PAINT COLOR INVESTIGATION**

<b>Location of Paint Sample</b>	<b>Identified Layers</b>	<b>Summary of Visible Color Palettes (see field notes for details on specific layers)</b>	<b>Total Number of Layers &amp; General Remarks</b>
<b>Library</b>			
Wall (plaster)	First color layer	Wallpaper	10 layers
		Cream	
		Seafoam green	
		Light mustard yellow	
		Robin's egg blue	
	Visible layer	wallpaper	
Ceiling (plaster)	First color layer	Off-white	8 layers
		Seafoam green	
		Cream	
		Light tan	
	Visible layer	Off-white	
Crown molding (plaster)	First color layer	Pale cream	5 layers
		Gold	A 1981 plan labeled "Fort Mason Officers Club Redecoration" refers to painting the ceiling and high wall trim mold in the library with gold metallic paint to match existing paint.
	Visible layer	Off-white	

Location of Paint Sample	Identified Layers	Summary of Visible Color Palettes (see field notes for details on specific layers)	Total Number of Layers & General Remarks
<b>Library (continued)</b>			
Baseboard (wood)	First color layer	Light green	13 layers
		Light gray	
		Robin's egg blue	
		Seafoam green	
		Dark brown	The 1981 plan for "Fort Mason Officers' Club Redecoration" refers to painting the baseboards, chair rail, doors, doorframe and windows in the library either a glossy "seal skin" or a semi-gloss "Vandyke brown".
	Visible layer	Off-white	
Window sill (wood)	First color layer	Light brown stain	11 layers
		Light tan	
		Glossy dark brown stain or residue	This layer may either be a stain or residue from fireplace or tobacco smoke
		Pale celery green	
		Robin's egg blue	
		Cream	
		Seafoam green	
		Light brick brown	
	Visible layer	Off-white	

<b>Location of Paint Sample</b>	<b>Identified Layers</b>	<b>Summary of Visible Color Palettes (see field notes for details on specific layers)</b>	<b>Total Number of Layers &amp; General Remarks</b>
<b>Library (continued)</b>			
Window casing (wood)	First color layer	White	7 layers
		Tan	
		Cream	
		Seafoam	
		Dark brown	
	Visible layer	Off-white	
<b>Library (continued)</b>			
Door casing (wood)	First color layer	Robin's egg blue	12 layers
		Light celery	
		Pale mustard yellow	
		Seafoam green	
		Brick red	
		Dark brown	
	Visible layer	Off-white	
<b>Reception Room</b>			
Wall (gypsum board)	First paint color	wallpaper	6 layers
		cream	
		Seafoam green	
	Visible layer	Off-white	

<b>Location of Paint Sample</b>	<b>Identified Layers</b>	<b>Summary of Visible Color Palettes (see field notes for details on specific layers)</b>	<b>Total Number of Layers &amp; General Remarks</b>
Reception Room (continued)			
Ceiling (plaster)	First paint color	Light tan	12 layers
		Seafoam	
		Cream	
	Visible layer	Off-white	
Crown molding (plaster)	First paint layer	Pale brick red	14 layers
		Dark stain or residue	
		Pale rose	
		Cream	
		Tan	
		Pale salmon	
		Seafoam green	
	Visible layer	Off-white	
Baseboard (wood)	First paint layer	Light tan	11 layers; This sample was taken from room 106 B
		Lipstick red	
		Dark brown	
		Pale salmon	
	Visible layer	Off-white	

<b>Location of Paint Sample</b>	<b>Identified Layers</b>	<b>Summary of Visible Color Palettes (see field notes for details on specific layers)</b>	<b>Total Number of Layers &amp; General Remarks</b>
Reception Room (continued)			
Window sill (wood)	First paint layer	Light tan	5 layers; This sample was taken from room 106 B
		Gunmetal grey	
		Lipstick red	
	Visible layer	Off-white	
Window casing (wood)	First paint layer	Medium brick red	7 layers; This sample was taken from room 106 B
		Seafoam green	
		Light tan	
		Lipstick red	
	Visible layer	Off-white	
Door casing (wood)	First paint layer	Shiny brown varnish	9 layers; This sample was taken from the door casing at the original dining room door
		Pale pinkish-tan	
		Light brown	
		Dark brown	Again, the 1981 plan refers to painting the baseboards, chair rail, doors, doorframe and windows in the library either a glossy "seal skin" or a semi-gloss "Vandyke brown".
	Visible layer	Off-white	

Location of Paint Sample	Identified Layers	Summary of Visible Color Palettes (see field notes for details on specific layers)	Total Number of Layers & General Remarks
<b>Parlor</b>			
Wall (gypsum board)	First paint layer	Medium tan	8 layers
		Teal	
		Pale seafoam	
		Brown residue or stain	
	Visible layer	Off-white	
<b>Ceiling (plaster)</b>			
	First paint layer	Pale blue grey	16 layers
		Light tan	
		Light mustard brown	
		Teal	
		Pale seafoam	
		Very light tan	
	Visible layer	Off-white	
<b>Parlor (continued)</b>			
Door casing (wood)	First color layer	Pale seafoam	5 layers
		Pale brick brown	
		Medium tan	
		Shiny brown varnish	
	Visible layer	Off-white	

Location of Paint Sample	Identified Layers	Summary of Visible Color Palettes (see field notes for details on specific layers)	Total Number of Layers & General Remarks
<b>Conservatory</b>			
Pocket door (wood)	First color layer	Pale cream	14 layers
		Seafoam	
		Medium brick red	
		Pale brick orange	
		Brown shiny varnish	
		Off-white	
		Cream	
		Dark chocolate brown	
		Medium redish-brown	
		Off-white	
	Visible layer	Glossy off-white	
Pocket door casing (wood)	First color layer	White	7 layers
		Pale cream	
		Dark chocolate brown	
		Light brown	
	Visible layer	Glossy white	

Location of Paint Sample	Identified Layers	Summary of Visible Color Palettes (see field notes for details on specific layers)	Total Number of Layers & General Remarks
<b>Bedroom 203 (Moraga)</b>			
Wall (plaster)	First color layer	Off-white	13 layers
		Wallpaper	
		Seafoam	
		Pale pink	
		Flat gray	
		Pale cream	
		Off-white	
	Visible layer	Glossy off-white	
Crown molding (plaster)	First color layer	Off-white	9 layers
		Pale seafoam	
		Flat gray	
		Light tan	
		Off-white	
	Visible layer	Glossy off-white	
Baseboard (wood)	First color layer	Pale brown varnish	20 layers
		Off-white	
		Cream	
		Pale seafoam	
		Pale pink	
	Visible layer	Off- white	

Location of Paint Sample	Identified Layers	Summary of Visible Color Palettes (see field notes for details on specific layers)	Total Number of Layers & General Remarks
<b>Bedroom 203 (continued)</b>			
Window casing (wood)	First color layer	Brown stain	16 layers
		White	
		Cream	
		Seafoam	
		Pale gray	
		Pale pink	
		White	
	Visible color	Glossy white	
Door (wood)	First color layer	Off-white	11 layers
		Cream	
		Dark tan	
	Visible color	Off-white	
Door casing (wood)	First color layer	Light cream	17 layers
		Seafoam	
		Medium tan	
		Off-white	
		Pale pink	
	Visible color	Off-white	



**Appendix F**  
*U.S. Army Organization  
in the Western United States  
1846-1943*

## **U.S. ARMY ORGANIZATION IN THE WESTERN UNITED STATES, 1846-1943**

During the late 19<sup>th</sup> and early 20<sup>th</sup> centuries, the Commanding Generals residing in Quarters 1 at Fort Mason commanded troops throughout a vast area of the western United States and its territories. However, the U.S. Army repeatedly changed the boundaries of these areas -- and several times renamed the command structure -- creating a confusion of titles, sub-commands and military jurisdictions. This brief overview of the Army's western organization between the conquest of California and World War II will give some idea of the responsibilities and jurisdictions of the commanding generals who resided at Fort Mason.

By the time Brig. Gen. Stephen Watts Kearny, marching overland from his victory at Santa Fe, arrived in California in December 1846, the War Department had divided the United States and the territories into the Eastern and Western Divisions with ten military departments under them. The Western Division's Military Departments 9 and 10, created on November 3, 1846, administered the territory recently acquired from Mexico:

Military Department 9 – To embrace so much of the Mexican province of New Mexico as has been or may be subjected to the arms or the authority of the United States.

Military Department 10 – To consist of the Territory of Oregon and so much of the Mexican provinces of the two Californias as has been or may be subjected to the arms or the authority of the United States.

On February 9, 1847, General Kearny assumed command of Military Department 10 and established his headquarters at Monterey. At the same time he became the military governor of California.

The Army completely reorganized its administrative machinery on August 31, 1848, establishing nine military departments in the Eastern and Western divisions, and two independent military departments, 10 and 11. These two reported directly to the War Department:

Military Department 10 – California. Headquarters at Monterey.

Military Department 11 – Oregon Territory. Headquarters at Fort Vancouver on the Columbia River.

Later that year, on October 10, 1848, Departments 10 and 11 were assigned to a newly created Pacific Division that also had its headquarters at Monterey. In 1849 the commanding general moved the division headquarters to the City of San Francisco, but only for one month. In July they moved to Benicia where they remained for the next two years.

On May 17, 1851, both military departments merged into the Pacific Division and ceased to exist as such. The division headquarters then directly administered military affairs on the West Coast (California and Oregon Territory). A year later, on June 15, 1852, Pacific Division headquarters moved from Benicia back to the City of San Francisco where it remained for two years.

On October 31, 1853, the Army abandoned the system of divisions and numbered departments and established five new departments each having a descriptive name, each department reporting directly to Headquarters of the Army. At San Francisco the Department of the Pacific headquarters

administered military affairs in the country west of the Rocky Mountains, except Utah Territory and the Department of New Mexico, i.e., New Mexico Territory east of the 110th meridian.

On September 2, 1854, the Department of the Pacific headquarters again packed its bags and returned to Benicia where it remained until January 1857.

This revolving door closed on that date when the headquarters returned to the City of San Francisco where it remained for many years to come.

On January 14, 1858, the Department of the Pacific gained the Territory of Utah west of the 117th meridian from the Department of Utah (i.e., western Nevada).

Reorganization continued. On September 13, 1858, the Department of the Pacific came to an end. In its place rose two new departments, each reporting directly to army headquarters:

Department of California – The country west of the Rocky Mountains and south of Oregon and Washington territories, including the Rogue River and Umpqua districts of Oregon, and excluding Utah east of the 117th meridian and New Mexico east of the 110th. Headquarters remained at San Francisco.

Department of Oregon – Oregon and Washington territories, except Rogue River and Umpqua districts.

On January 15, 1861, as the nation neared civil war, the Army revived the Department of the Pacific by consolidating the Departments of California and Oregon and retaining the headquarters at San Francisco. When Brig. Gen. George Wright became the department commander in October 1861, he found that San Francisco's climate aggravated his asthmatic condition and he hoped to move the headquarters to Sacramento. It appears, however, that the headquarters remained at San Francisco while General Wright spent considerable time at Sacramento.

During the war, from 1863 to 1865, the Department of the Pacific had five districts: California, Oregon, Humboldt, Utah, and Southern California.

In July 1865 the Department of the Pacific was abolished and was replaced by the Departments of California and the Columbia. The Department of California, with its headquarters at San Francisco, was composed of California, Nevada, and Arizona Territory.

A month later, August 30, 1865, the Army established the Military Division of the Pacific that embraced California, Oregon, Nevada, and the Territories of Arizona, Washington, and Idaho. It contained two departments:

Department of California – California, Nevada, and Arizona Territory (and, briefly, New Mexico).

Department of the Columbia – Oregon and the Territories of Washington and Idaho.

Headquarters for the Division of the Pacific and the Department of California remained at the City of San Francisco.

On March 18, 1868, the Army established the Department of Alaska and placed it under the Division of the Pacific. This department, however, was discontinued on July 1, 1870, and Alaska was absorbed by the Department of the Columbia.

The Department of Arizona was established under the Division of the Pacific on April 15, 1870. It consisted of Arizona Territory and California south of a line from the northwest corner of Arizona to Point Conception so as to include Los Angeles and San Diego. (Although the Department of Arizona lost Southern California on February 14, 1883, it regained that part of California south of the 35th parallel on December 15, 1886.)

Beginning December 7, 1871, the one general officer at San Francisco commanded both the Division of the Pacific and the Department of California and the former separate staffs were consolidated into one.

In June 1878 the Congress authorized the Division of the Pacific headquarters to move from San Francisco to the Presidio of San Francisco. This event took place on July 1.

On November 30, 1885, the Territory of New Mexico transferred from the Department of the Missouri to the Department of Arizona, thus coming under the Division of the Pacific.

Early in 1887 the headquarters of the Division of the Pacific, having failed to secure an appropriation for a suitable administration building, moved from the Presidio of San Francisco back to the City of San Francisco.

The Military Division of the Pacific was discontinued on July 3, 1891, and each of the three departments – Arizona, California, and the Columbia – then reported directly to the War Department. The Department of California, with its headquarters at San Francisco, consisted of California north of the 35th parallel and Nevada.

On June 30, 1893, the Department of Arizona was discontinued and part of it, including California south of the 35th parallel, was absorbed by the Department of California.

In 1898 the Hawaiian Islands became part of the Department of California.

Reorganizing in January 1904, the Army established the Pacific Division for the western states. The headquarters occupied the Phelan Building, 806 Market Street, San Francisco. Geographically, the division included California, Oregon, Washington, Idaho, Nevada, Alaska, and Hawaii. There were now two departments, California and the Columbia. The headquarters of the California Department, also in the Phelan Building, administered California, Nevada, and the Hawaiian Islands. On October 15, 1904, division headquarters moved to the Grant building, 1095 Market Street, while the Department of California remained in the Phelan building.

When the great earthquake hit San Francisco on April 18, 1906, destroying offices in the city, both headquarters moved first to Fort Mason then to the Presidio of San Francisco temporarily, Pacific Division in East Cantonment (May 2) and Department of California in West Cantonment (May 3).

The date the headquarters returned to the reconstructed city has not been determined. Army correspondence stated that they had returned by April 1907.

In July 1911, the Pacific Division was renamed the Western Division. The Departments of California and the Columbia remained under it.

On February 14, 1913, the Western Division was discontinued and on the following day the Western Department was organized. The Departments of California and the Columbia were abolished while Hawaii became a separate department reporting directly to the War Department. This new Western Department included Washington, Oregon, Idaho, Montana (except Fort Missoula), Yellowstone National Park, California, Nevada, Utah, and Alaska. Headquarters remained at San Francisco. On March 24, 1902, all of Wyoming and Arizona west of the 114° west longitude (Colorado River, Yuma, etc.) were added to the Western Department.

In September 1920, the Army reorganized its operations into nine geographical areas, the West Coast becoming the Ninth Corps Area. Its headquarters moved from the city of San Francisco to the cavalry barracks, 35, at the Presidio of San Francisco on September 1. Ninth Corps Area included Washington, Oregon, Idaho, Montana, Wyoming, Utah, Nevada, and California. (Alaska was added circa 1940).

In the summer of 1932, the Fourth Army was activated at Omaha, Nebraska, largely as a paper organization for the time being. On June 18, 1936, Fourth Army headquarters transferred to the Presidio of San Francisco and there a general officer commanded both the Ninth Corps Area and Fourth Army. Ninth Corps Area was comprised of the eight states while Fourth Army consisted of four infantry divisions and the coast artillery units within those same states.

In 1940 Fourth Army became fully activated, its headquarters being at the Presidio along with Ninth Corps Area's. A general officer commanded both organizations.

On December 7, 1941, following the Japanese attack on Hawaii, the Western Defense Command was activated, its headquarters also being at the Presidio of San Francisco. Its commanding general also commanded the Ninth Corps Area and Fourth Army. In July 1942 the headquarters for the Ninth Corps Area moved from the Presidio to Fort Douglas, Utah, where it became the Ninth Service Command and retained the same geographical area of responsibility.

On September 12, 1943, Fourth Army headquarters moved from the Presidio of San Francisco to San Jose, California, then to the Presidio of Monterey, and in 1944 to Fort Sam Houston, Texas.

On November 1, 1943, Alaska was separated from the Western Defense command to become the Alaska Department reporting directly to the War Department.

Excerpted from Erwin Thompson's HRS *Presidio of San Francisco*, Appendix A

National Park Service  
U.S. Department of the Interior



**Golden Gate National Recreation Area**  
Fort Mason, Building 201  
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